

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended.

File No.: A-33/26
Roll No.: 9-1-049-06

Owners:	Stephen & Charlie-Ann McNair		
Address:	1475 Ziska Road		
Description:	Lot 15, Concession 6, Part 1, Plan 35R-5223, (Monck)		
Zoning:	Rural Residential (RuR) Lake: Not applicable Schedule: 38 & 39		
Hearing Date: Monday September 14 th , 2026 at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code. Please note there may be a delay when the physical notice signs are posted and when the electronic copy of the Notice is available online.

Explanation of the Purpose and Effect:

The applicants propose to construct an accessory building (garage) with a secondary dwelling unit. The property currently has a dwelling. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	6.1.3	Maximum Height – Accessory Building	20 ft.	25 ft.	5 ft.	To Construct an Accessory Building (Garage) with a Secondary Dwelling Unit

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



If you wish to provide a response to this application, please submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **September 9, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 26th day of August, 2026.

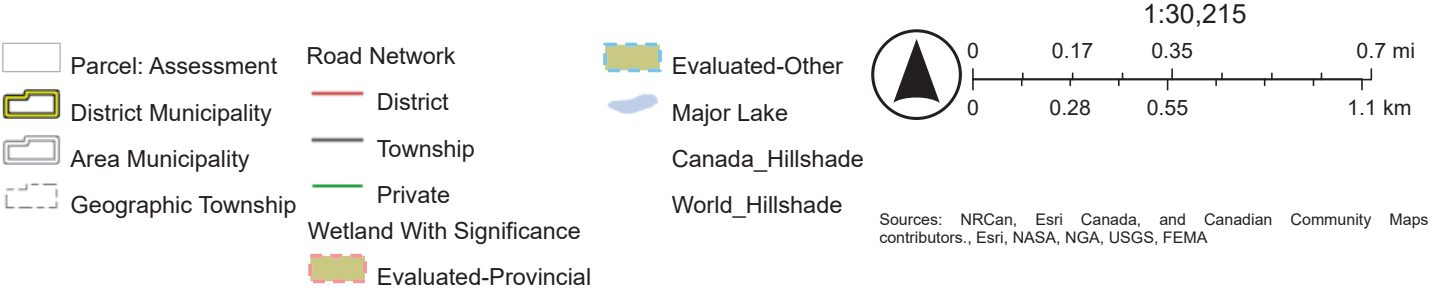
Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



KEY MAP (A-33/26)



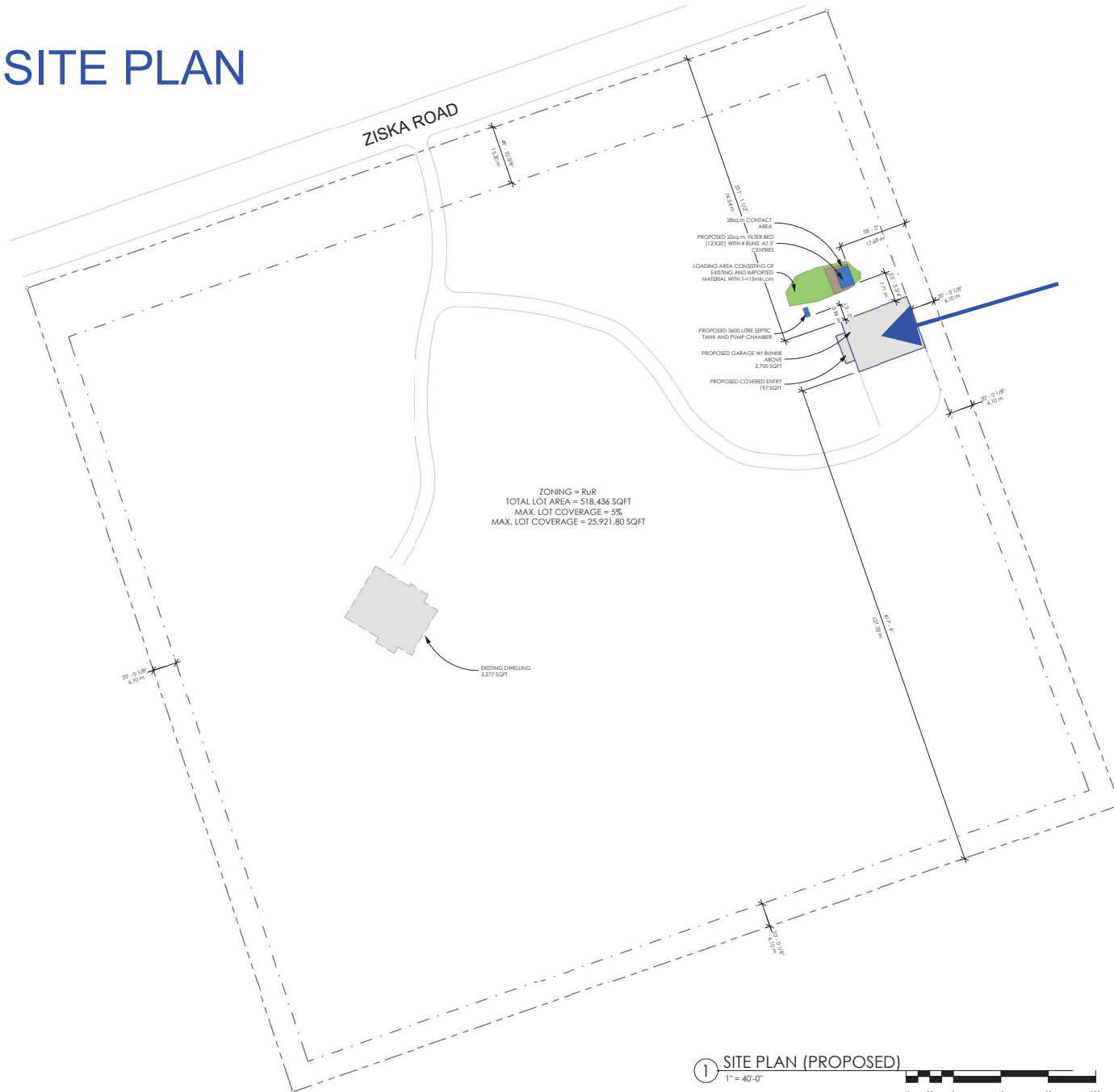
NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



SITE PLAN LEGEND

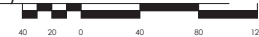
- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SECONDARY)
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (MAJOR)
- CONTOURS (MINOR)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
- PROPOSED STRUCTURE ROOF OVERHANG
- PROPOSED ACCESSORY STRUCTURE
- GASLINE
- WATER/SANITARY
- PROPOSED DRIVEWAY
- ROAD
- TREELINE
- OBJECT REMOVAL
- TREE TRUNK PROTECTION
- PATIO COVERAGE
- LANDSCAPED AREA
- SILT FENCING
- EROSION CONTROL
- PRINCIPAL ENTRANCE

SITE PLAN



NOT TO SCALE

1 SITE PLAN (PROPOSED)



**FORESHIEW
DESIGN
ASSOCIATES**

3 Lee Valley Drive, Unit 2
Port Carling, Ontario, Canada
POB 1J0

705-641-1762
design@foreshewda.com

www.foreshewda.com
PROFESSIONAL ENGINEER

**MCNAIR GARAGE
1475 ZISKA ROAD
BRACEBRIDGE, ONTARIO**

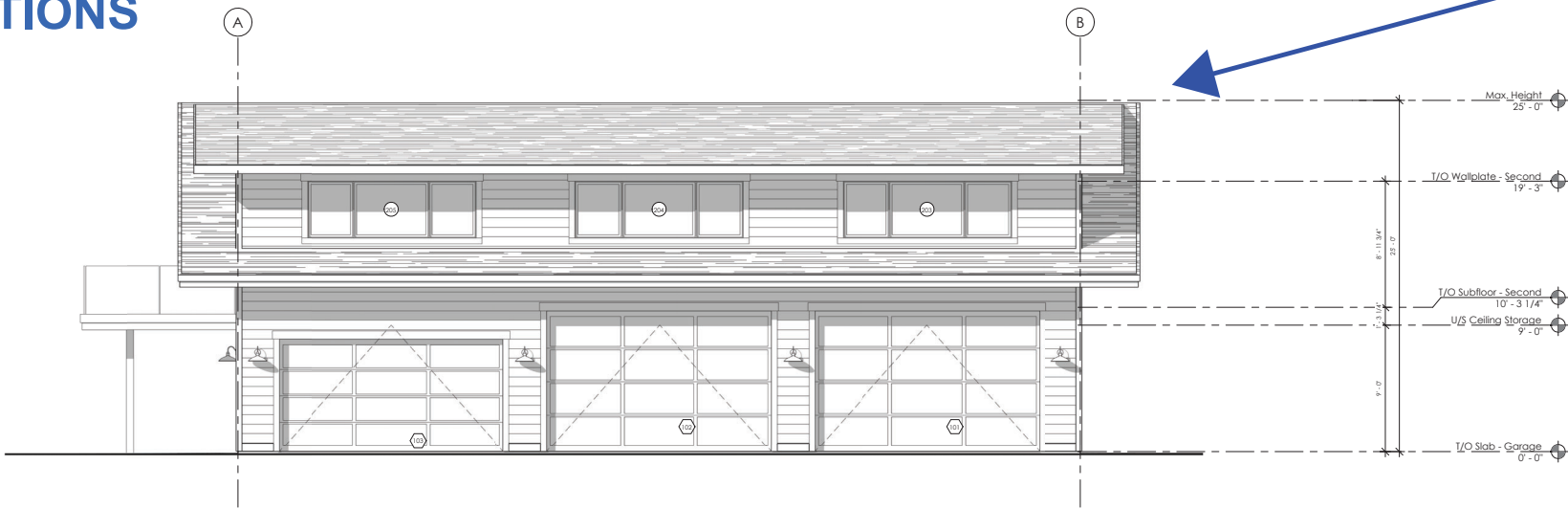
REV. DESCRIPTION DATE

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PROJECT NUMBER FDA24037
SHEET NAME
SITE PLAN

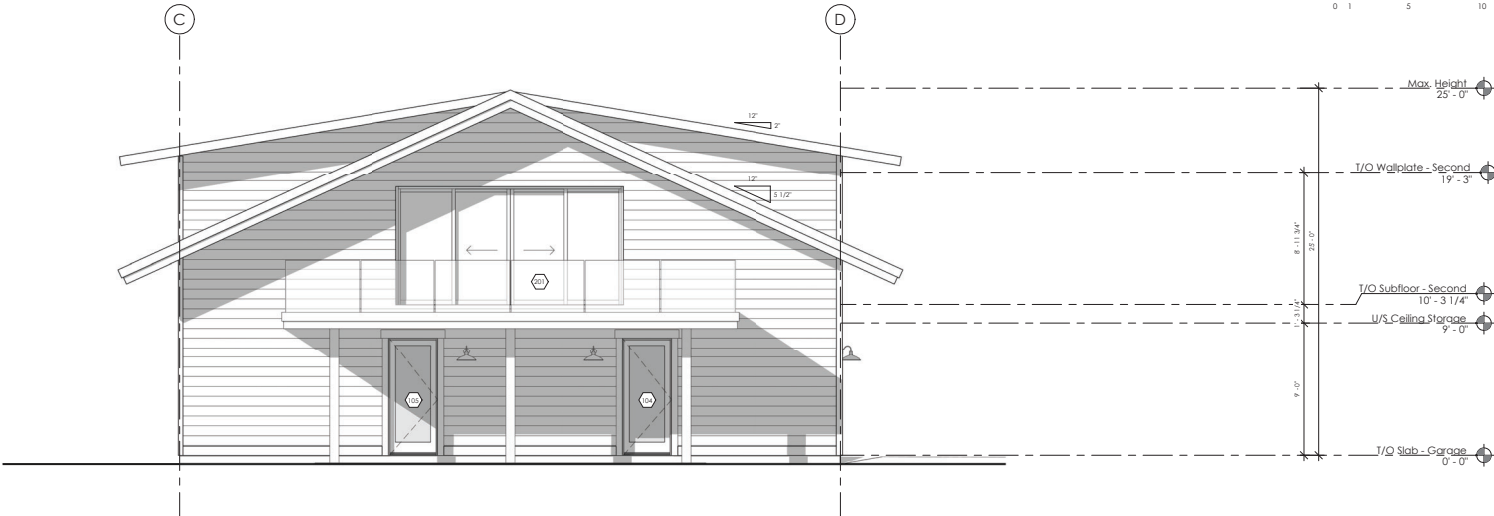
SHEET NUMBER
A1-1

PERMIT SET : 11/12/2025

ELEVATIONS



1 FRONT EXTERIOR ELEVATION
1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
1/4" = 1'-0"

NOT TO SCALE



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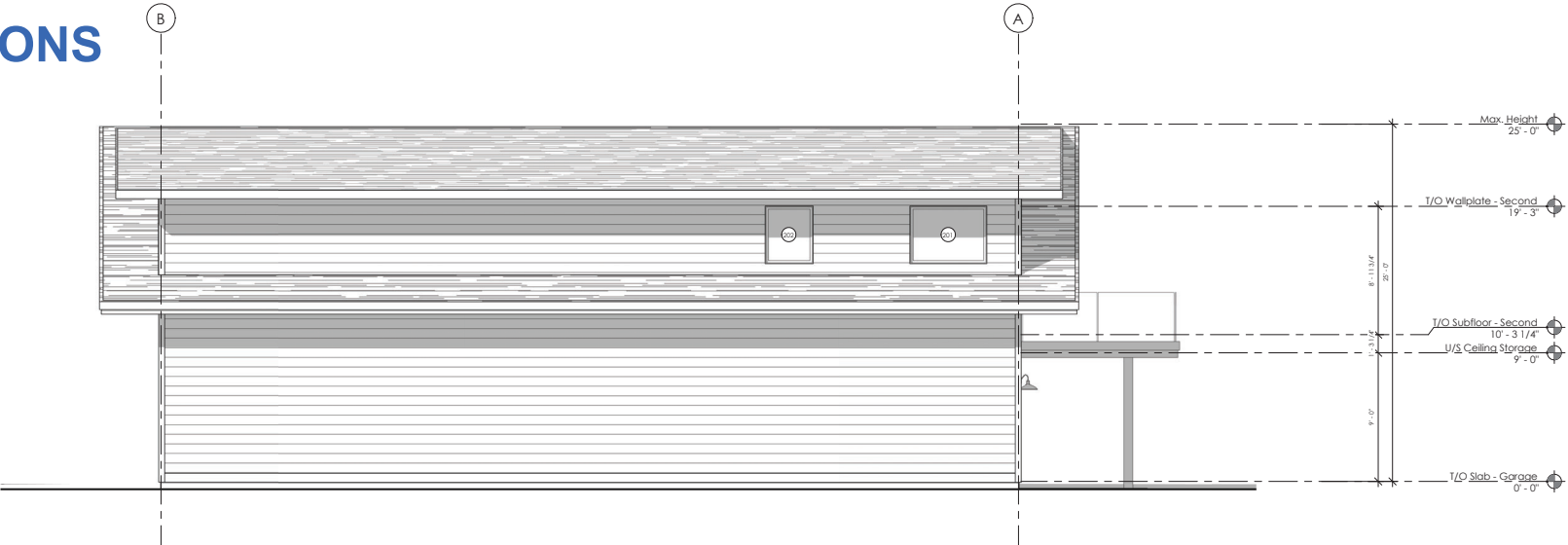
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ACF
PROJECT NUMBER FDA24037
SHEET NAME
FRONT & LEFT EXTERIOR
ELEVATIONS
SHEET NUMBER

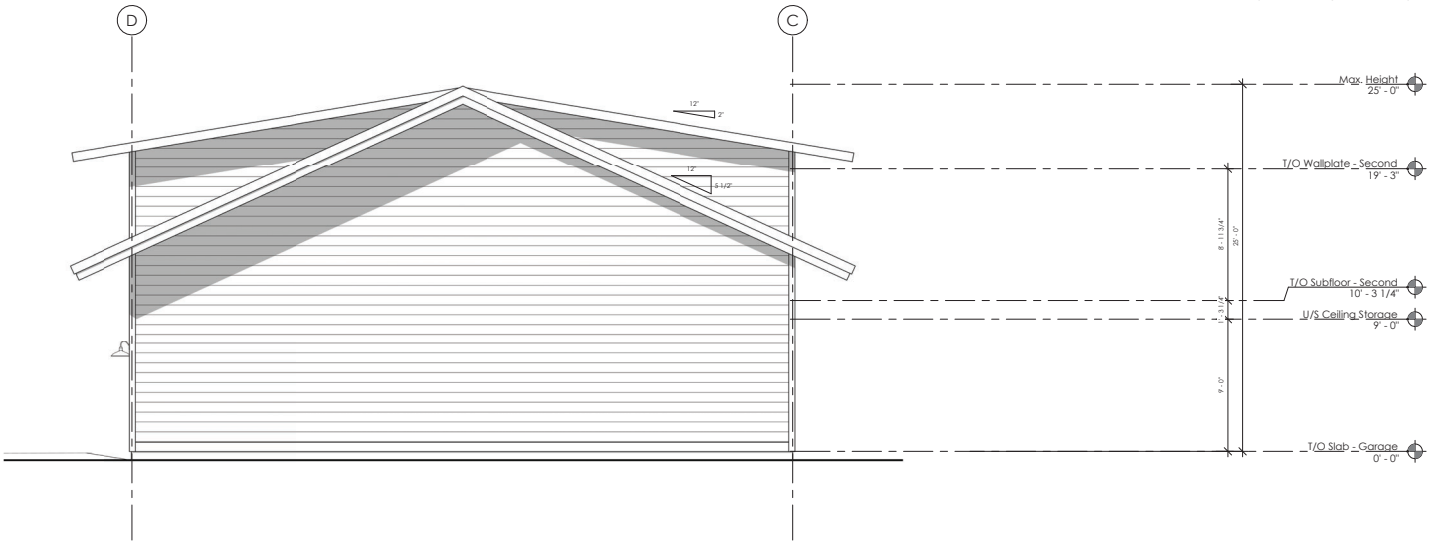
A3-1

REFERENCE SET : 03/23/2026

ELEVATIONS



① REAR EXTERIOR ELEVATION
1/4" = 1'-0"



② RIGHT EXTERIOR ELEVATION
1/4" = 1'-0"

NOT TO SCALE



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BRACEBRIDGE, ONTARIO**

REV. DESCRIPTION DATE

DRAWN BY
ACF
PROJECT NUMBER FDA24037
SHEET NAME
REAR & RIGHT EXTERIOR
ELEVATIONS

SHEET NUMBER
A3-2

REFERENCE SET : 03/23/2026

FLOOR PLANS



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McNAIR GARAGE
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REV. DESCRIPTION DATE

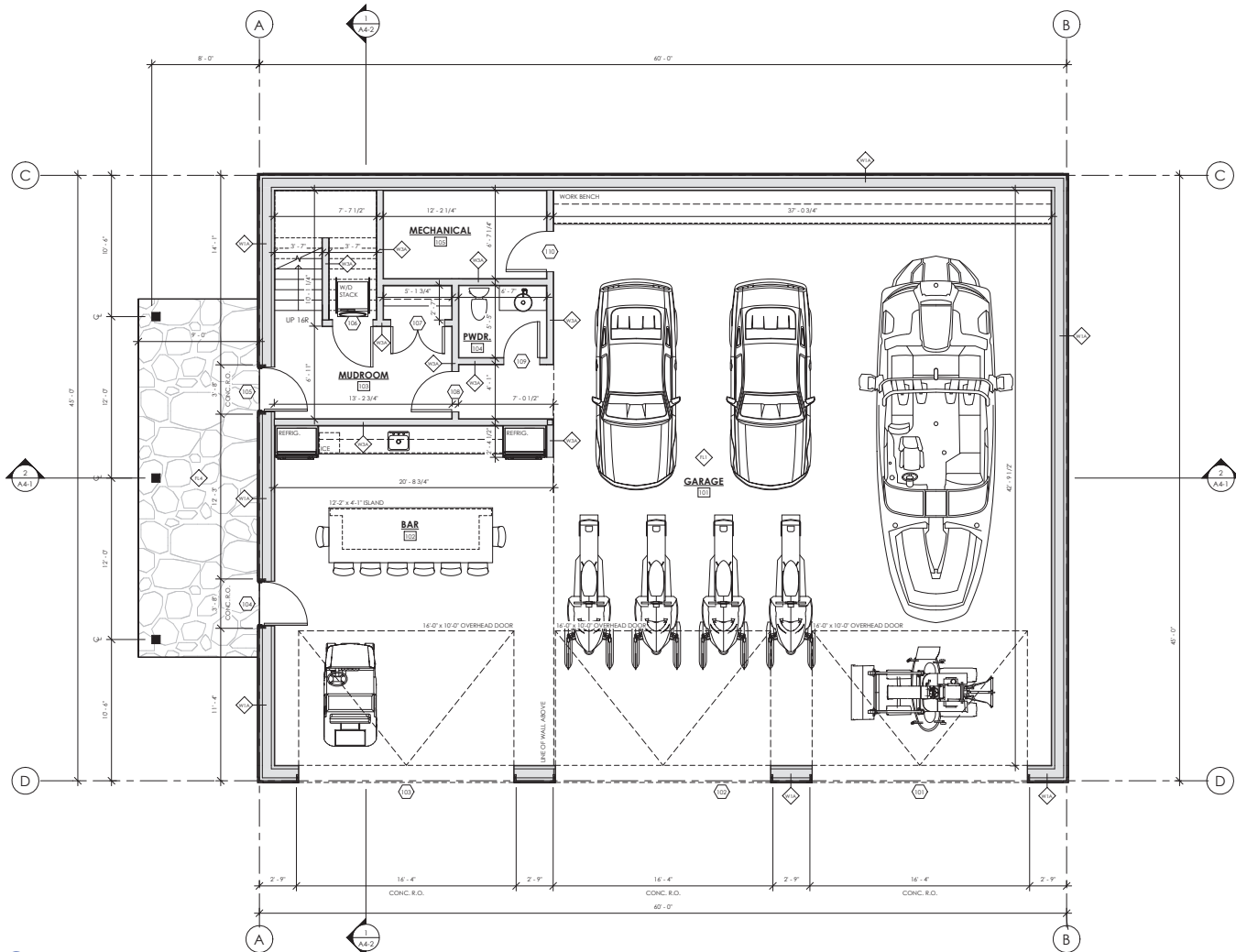
DRAWN BY
ACF
PROJECT NUMBER
SHEET NAME
GARAGE LEVEL PLAN

SHEET NUMBER
A2-1

REFERENCE SET : 03/23/2026

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



A - FOUNDATION WALL SCHEDULE

- EXTERIOR
- EXTERIOR HORIZONTAL WOOD SING - SEE APPROVED CONTROL SAMPLE & ELEVATIONS FOR SING LOCATIONS
 - 1" x 1" SP NO. 10 @ 2' VERTICAL STRAPPING @ 14" O.C.
 - 1" x 1" SP NO. 10 @ 2' HORIZONTAL STRAPPING @ 14" O.C.
 - APPROVED WATERPROOFING MEMBRANE
 - INSULATED CONCRETE FORM (ICF) TO CONFORM MANUFACTURER'S REQUIREMENTS
 - C/W 10M V.F. BARS @ 8" C/C
 - C/W 10M V.F. BARS @ 8" C/C
 - MAX WALL HEIGHT = 30' - 0"
 - MAX DIFFERENTIAL SOIL BACKFILL HEIGHT = 4' - 0"
 - TYP. 5/8" C/P/SM WALLBOARD (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH
- INTERIOR

A - WALL SCHEDULE

- W30 - Interior - 2nd Partition (Gypsum both sides)
- TYP. 5/8" GWS (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH
 - TYP. 5/8" GWS (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH

A - FLOOR SCHEDULE

- 4" CONCRETE SLAB W/ 2" RIGID INSULATION
- FINISH FLOOR REFER TO FINISH SCHEDULE IF APPLICABLE
 - 4" THICK MIN. Poured CONCRETE FLOOR (SEE PLANS/MECH. DRAWINGS FOR RADIENT TUBE LOCATIONS IF APPLICABLE)
 - USING 32MPa CONCRETE
 - PROVIDE 6M @ 4M WELDED WIRE MESH REINFORCEMENT
 - C/W 2" EPS BELOW GRADE INSULATION
 - MIN. 8" COMPACTED GRANULAR FILL
- WOOD FLOOR SYSTEM
- FINISH FLOOR (REFER TO FINISH SCHEDULE IF APPLICABLE)
 - C/W RADIANT HEATING TUBES
 - 3/4" EXTERIOR GRADE PLYWOOD SHEATHING (GLUED & SCREWED)
 - 1 1/8" T.F. FLOOR FRAMING (SEE ENGINEERING DRAWINGS FOR SIZE & SPACING & REQUIREMENTS)
 - PERMANENT SPACE FOR MECHANICAL DUCTWORK
 - CEILING FINISH REFER TO FINISH SCHEDULE IF APPLICABLE
- EXTERIOR DRIP TRAP TO MEMBRANE DECK
- 200 CEDAR DECKING - SEE APPROVED CONTROL SAMPLE
 - SEE DETAILS FOR WATERPROOFING/ DRAINAGE BUILD UP - IF APPLICABLE
 - ENGINEERED FLOOR FRAMING (REFER TO STRUCTURAL DRAWINGS FOR SIZE, SPACING AND REQUIREMENTS)
 - FLAGSTONE PAVING - WET LAD
 - 2" THICK FLAGSTONE - SEE APPROVED CONTROL SAMPLE
 - DOOR TYPE, QUARRY AND CUT 1.8.1
 - USING 32MPa CONCRETE, PROVIDE 6M @ 4M WELDED WIRE MESH REINFORCEMENT
 - C/W 2" EPS BELOW GRADE INSULATION

1 MAIN LEVEL PLAN
1/4" = 1'-0"



FLOOR PLANS



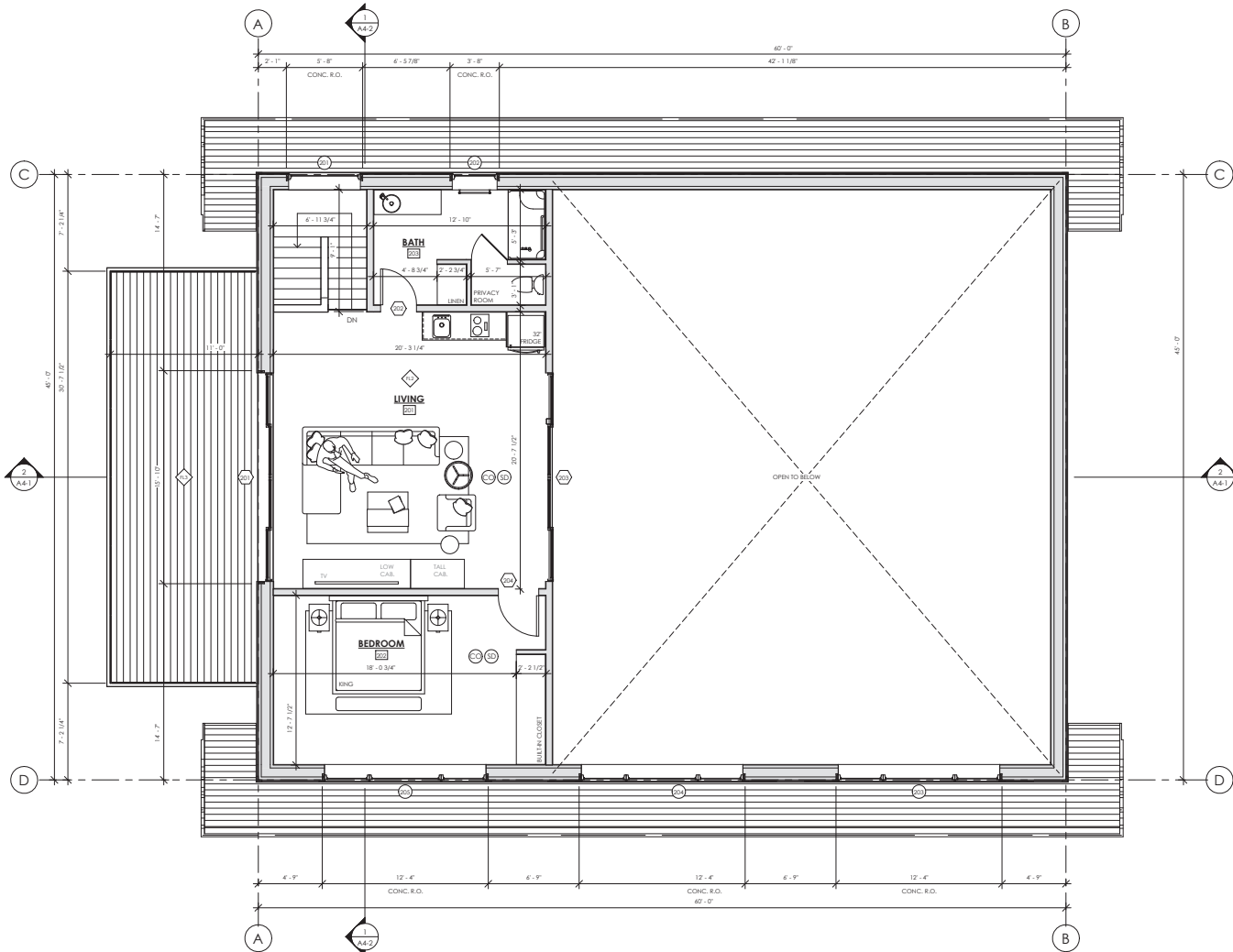
FORESHIEW
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PROFESSIONAL ENGINEER



A - FOUNDATION WALL SCHEDULE

- EXTERIOR
- EXTERIOR HORIZONTAL WOOD Siding - SEE APPROVED CONTROL SAMPLE & ELEVATIONS FOR Siding LOCATIONS
 - 1" x 6" SPS No. 1 No. 2 VERTICAL STRAPPING @ 16" O.C.
 - CLEAR OR WASHED 2X6 BOARDS BELOW GRADE
 - APPROVED WATERPROOFING MEMBRANE
 - 8" INSULATED CONCRETE FORMING (ICF) TO CONFORM MANUFACTURER ENSURE FULL TAPER TOP FORM FULL COURSE ALONG EXTERIOR (TYP.)
 - C/W 10M V.F. BARS @ 8" C/C
 - C/W 10M V.F. BARS @ 8" C/C
 - MAX WALL HEIGHT = 30' - 0"
 - MAX DIFFERENTIAL SOIL BACKFILL HEIGHT = 4' - 0"
 - TYP. 5/8" GYPSUM WALLBOARD (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH
- INTERIOR

A - WALL SCHEDULE

- W30 - Interior - 2nd Partition (Gypsum both sides)
- TYP. 5/8" GWS (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH
 - 2X4 No. 1 No. 2 SPS @ 16" O.C.
 - TYP. 5/8" GWS (LEVEL 3) - SEE INTERIOR SCHEDULE FOR APPROVED FINISH

A - FLOOR SCHEDULE

- 4" CONCRETE SLAB W/ 2" RIGID INSULATION
- FINISH FLOOR REFER TO FINISH SCHEDULE IF APPLICABLE
 - 4" THICK MIN. POURED CONCRETE FLOOR (SEE PLANS/MECH. DRAWINGS FOR RADIANT TUBE LOCATIONS IF APPLICABLE)
 - USING 32MPS CONCRETE
 - PROVIDE 6M - 6/8 WELDED WIRE MESH REINFORCEMENT
 - C/W 2" EPS BELOW GRADE INSULATION
 - MIN. 8" COMPACTED GRANULAR FILL
- WOOD FLOOR SYSTEM
- FINISH FLOOR (REFER TO FINISH SCHEDULE IF APPLICABLE)
 - 1 1/2" GYPCRETE
 - C/W RADIANT HEATING TUBES
 - 1/4" EXTERIOR GRADE PLYWOOD SHEATHING (GLUED & SCREWED)
 - 1 1/8" 1x12 FLOOR FRAMING (SEE ENGINEERING DRAWINGS FOR SIZE & SPACING & REQUIREMENTS)
 - PERMANENT SPACE FOR MECHANICAL DROPPING STRUCTURE
 - CEILING FINISH REFER TO FINISH SCHEDULE IF APPLICABLE
- EXTERIOR DRIP TRIM TO MEMBRANE DECK
- 2X8 CEDAR DECKING - SEE APPROVED CONTROL SAMPLE
 - SEE DETAILS FOR WATERPROOFING/ DRAINAGE BUILD UP - IF APPLICABLE
 - ENGINEERED FLOOR FRAMING REFER TO STRUCTURAL DRAWINGS FOR SIZE, SPACING AND REQUIREMENTS
 - FLAGSTONE PAVING - WET LAY
 - 2" THICK FLAGSTONE - SEE APPROVED CONTROL SAMPLE
 - 4" THICK MIN. PLACED CONCRETE FLOOR USING 32MPS CONCRETE, PROVIDE 6M - 6/8 WELDED WIRE MESH REINFORCEMENT
 - C/W 2" EPS BELOW GRADE INSULATION

MCNAIR GARAGE
1475 ZISKA ROAD
BRACEBRIDGE, ONTARIO

REV. DESCRIPTION DATE

DRAWN BY
ACF

PROJECT NUMBER FDA24037

SHEET NAME
UPPER LEVEL PLAN

SHEET NUMBER
A2-2

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

1 UPPER LEVEL PLAN
1/4" = 1'-0"



REFERENCE SET : 03/23/2026

FLOOR PLANS



**FORESHIEW
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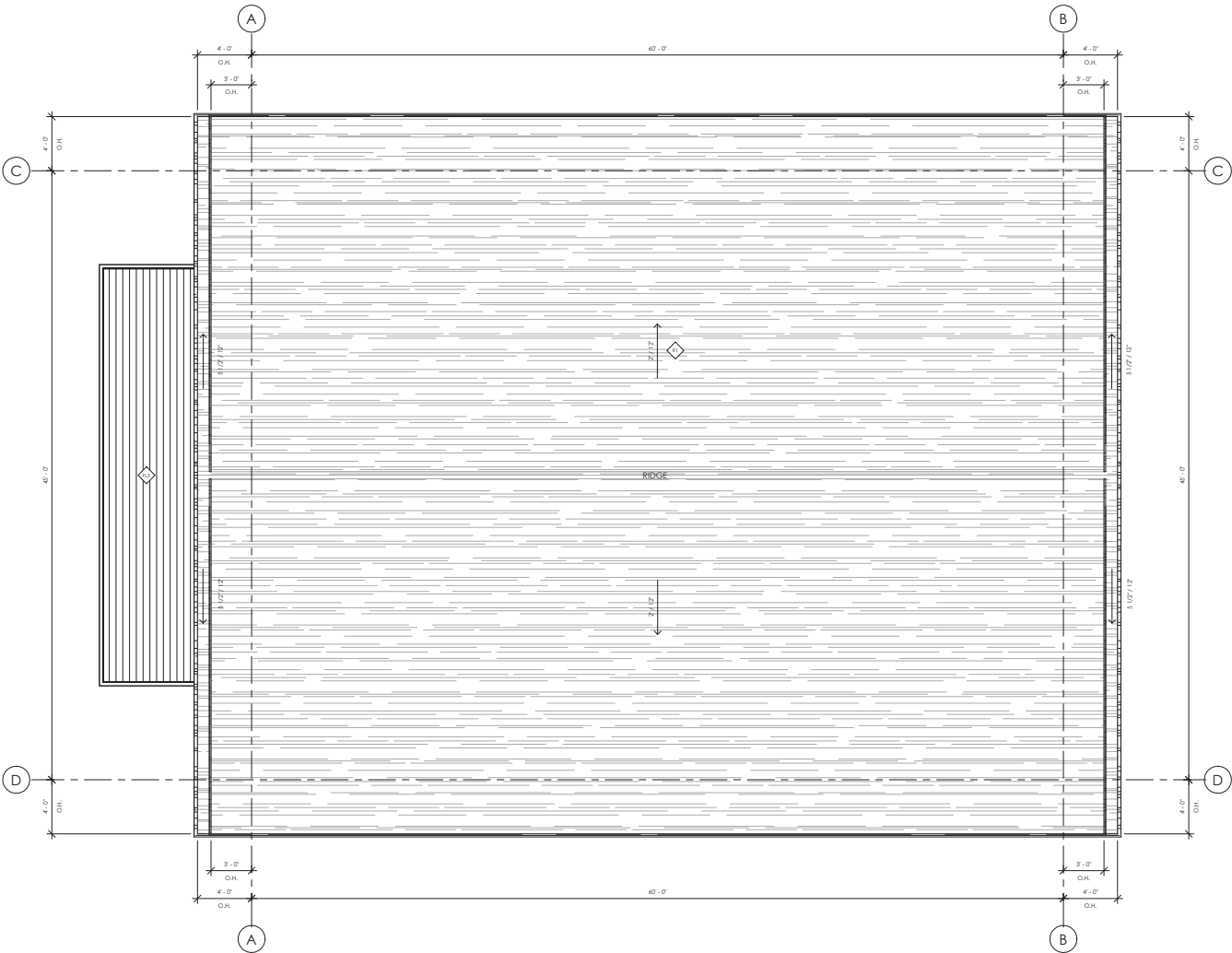
McNAIR GARAGE
1475 ZISKA ROAD
BRACEBRIDGE, ONTARIO

REV. DESCRIPTION DATE

DRAWN BY
ACF
PROJECT NUMBER FDA24037
SHEET NAME
ROOF PLAN

SHEET NUMBER
A2-4

REFERENCE SET : 03/23/2026



A - ROOF SCHEDULE

- ASPHALT SHINGLE ROOF
- METAL Drip FLASHING ALONG ALL EAVE LOCATIONS
 - 25 YEAR MIN. ASPHALT SHINGLE
 - ICE & WATER SHIELD APPLIED OVER ENTIRE ROOF
 - 5/8" EXISTING GRADE PLYWOOD SHEATHING
 - ENGINEERED ROOF FRAMING (REFER TO STRUCTURAL SERVICES FOR SIZE, SPACING AND REQUIREMENTS)
 - PROVIDE A MINIMUM 2" AIR CAVITY FOR VENTING, CREATED USING 2X LUMBER SPACED TO 2" DEPTH. INSTALL A 1/4" PLYWOOD BACKER BETWEEN ROOF JOISTS TO SUPPORT SPRAY FOAM AND MAINTAIN THE VENTING PATHWAY.
 - R1 (R40 Plus) 2IN. CLOSED CELL SPRAY FOAM INSULATION
 - INTERIOR CEILING FINISH - SEE APPROVED CONTROL SAMPLE

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

1 ROOF DIRECTION PLAN
1/4" = 1'-0"

