

August 18, 2026

The Town of Plympton-Wyoming
546 Niagara Street
Wyoming, ON
N0N 1T0

Gentlemen and Mesdames:

Re: McFarlane Drain (2026) Report Revisions

The following pages of the McFarlane Drain have been revised to reflect a severance on the lands belonging to Sawmill Creek Holdings Limited.

Report

Replace pages 13, 14 and 19 of the drain report with the appended pages. The revisions address an incorrect Area Roll Number.

Report Specifications

Replace page SP-5 of the drain report specifications, with the appended page. The revision addresses an incorrect Area Roll Number.

Report Drawings

Replace Drawing 1 and Drawing 2 of the drain report, with the appended Drawing 1 and Drawing 2. The revisions include the addition of the lot line, regarding the lands belonging to Sawmill Creek Holdings Limited.

Report Schedules

No changes the Drain Report Schedules were required, as the affected parcels were accounted for in the Drain Report Schedules.

Yours truly,



2020-1192
Aug 18, 2026

Michael Gerrits, P. Eng.
R. Dobbin Engineering Inc.

The Town of Plympton-Wyoming
546 Niagara Street
Wyoming, ON
N0N 1T0

August 6, 2026

Your Gentlemen and Mesdames:

Re: McFarlane Drain (2026)

In accordance with your instructions, R. Dobbin Engineering Inc. has undertaken an examination of the McFarlane Drain, with respect to flow restrictions within the drain. The work is located in Part of Lots 8, 9, 10 and 11, Concessions 7, 8, 9 and 10 in the Village of Camlachie, within the Town of Plympton-Wyoming.

Authorization Under the Drainage Act

This Engineer's Report has been prepared under Section 78 of the Drainage Act as per the direction of Council which is based on the request of an affected landowner. R. Dobbin Engineering Inc. was appointed by the Town of Plympton-Wyoming on December 9, 2020 to prepare a drain report for the McFarlane Drain.

Existing Reports

A.S. Code, O.L.S. prepared a drain report, dated March 1907, for the Sawmill Creek Drain. The report included provisions for an open channel drain with farm accesses. The Sawmill Creek Drain is located immediately downstream of what was then called the Allen Creek Drain.

J. A. Monteith, P. Eng. prepared a report, dated March 1965, for the McFarlane Drain New Outlet and the Allan's Creek Drain. The report included provisions for creating a new outlet for the McFarlane Drain and the Allan's Creek Drain. The McFarlane Drain New Outlet extended from the Brydges Drain in Lot 10, Concession 9, south east to Hyslop Line. The existing McFarlane Drain remained in place to service lands not connecting to the McFarlane Drain New outlet and the Allan's Creek Drain.

J. A. Monteith, P. Eng., prepared a report, dated February 1984. The report identified the McFarlane Drain New Outlet, Needham Drain, Trusler Drain, Bridges Drain and the Allan Creek Drain. The report also included extending the drain to the westerly limit of Lot 8, Concession 10 (west limit of the Sawmill Creek Golf Course lands) via Sawmill Creek. The report included improving the drain's grade line, removing an abandoned rail line bridge, replacing the Park Street culvert, replacing the farm access on the north part of Lot 9,

Concession 9 with a 2590 X 1880 mm Corrugated Steel Pipe Arch (CSPA), and removing and replacing the farm access in the southern quarter of Lot 8, Concession 10 on the lot with the Area Roll Number (ARN) ending with the number 340.020.12500, Owner Identification No. 10-08, with a low-level type crossing. The farm accesses mentioned in the report, are located on the lands now owned by the Sawmill Creek Golf Course. The report did not identify other culverts or weirs within the lands owned by the Sawmill Creek Golf Course.

Existing Conditions and Investigation

The McFarlane Drain consists of an open channel with access culverts. Sediment has accumulated in the bottom of the drain, and in many areas, the channel banks have grown in with vegetation and there are isolated areas of channel bank erosion.

The upper portion of the drain, south of Egremont Road, appears to be in fair condition. With the exception of a new access culvert request and a new secondary access culvert request, there have been no other requests for improvement on this section of drain.

The centre portion of the drain from Lakeshore Road to Egremont Road is over grown, and has sediment in the lower portion of the channel. There have been no requests for improvements from agricultural landowners within this section of the drain. There has been one request for maintenance from a residential landowner within this section of drain. A residential landowner sent the Town of Plympton-Wyoming a letter dated September 2023, informing the Town of Plympton-Wyoming that they had concerns with water levels, flooding, bank erosion and payment for any required work. The landowner felt the drain modifications completed by the downstream golf course have affected their lands.

The lower portion of the drain from the west limit of the Sawmill Creek Golf Course lands (Lot 8, Concession 10) to Lakeshore Road, has sections of drain that are over grown, isolated areas of channel bank erosion, and two (2) online ponds complete with weirs and numerous undersized access crossings. The 1984 report did not identify culverts or weirs within the lands owned by the Sawmill Creek Golf Course; however, the report did note that some golf course accesses had small boiler plate culverts which appear to be installed as part of a low-level crossing. These low-level crossings were likely installed privately before the 1984 drain report. There have been no requests for improvements from agricultural landowners within this section of the drain. Residential landowners have raised concerns regarding the private structures installed on the golf course lands, with respect to water elevations, channel bank erosion, drain outlets, standing water, mosquito and mosquito-borne diseases such as the West Nile and Zika viruses. Private modifications to the lower portion of the drain have been completed on the Sawmill Creek Golf Course lands (ARN340.020.12500, Owner Identification No. 10-08 & ARN 340.020.14100, Owner Identification No. 9-11). The modifications include two weirs, 6 pedestrian bridges, and 4 culverts. Under the Drainage

Act, two of the crossings would be considered primary drain crossings, and the remainder private accesses.

In the spring of 2026, the Town of Plympton-Wyoming informed the landowner that the weir at Station 1+097, had to be removed. The landowner was given the opportunity to remove the weir; however, due to timing restraints, the Town of Plympton-Wyoming retained a Contractor to notch the weir to lower the upstream water levels. The entire structure will be removed as part of this report.

2020 Hydrology Study

In 2020, R. Dobbin Engineering Inc. completed a hydrology study on a portion of the McFarlane Drain from the westerly limit of Lot 8, Concession 10 (west limit of the Sawmill Creek Golf Course lands) to Camlachie Road. The report reviewed the private drain modifications that the Sawmill Creek Golf Course completed on the McFarlane Drain.

A hydrologic review of the Sawmill Creek Golf Course structures was completed and the findings are summarized below:

- The upstream centreline road culverts at Camlachie Road and Lakeshore Road appear to be able to convey the 100-year design flow and do not appear to negatively affect flows in the drain.
- The bridges at Stations 0+082 (Structure 3), 0+773 (Structure 7), and 1+221 (Structure 13), spanning the drain, do not appear to negatively affect flows in the drain.
- The bridges at Station 1+082 (Structure 10) and 1+163 (Structure 12) are concrete 6900mmX3140mm bridges that have the capacity to convey the 25-year design flows. Standard access culverts on this drain are typically designed to convey the 2-year design flow.
- The access culverts at Station 0+529 (Structure 5), 0+608 (Structure 6), 0+856 (Structure 8), and 0+979 (Structure 9), consists of 3 culverts at each crossing. The culverts cannot accommodate the standard access culvert flow (2-year design flow) at each crossing. During storm events, the culverts are anticipated to back up onto the golf course lands and not upstream lands.
- The access culvert at Station 0+289 (Structure 4) is a 2590mmX1880mm Corrugated Steel Pipe Arch (CSPA) pipe that can convey the 10-year design flow. The culvert was installed as part of the 1984 report.
- The access culvert at Station 0+015 (Structure 1) is a 2000mm Corrugated Steel Pipe (CSP) pipe. The culvert cannot accommodate the standard access culvert flow (2-year design flow). During storm events, the culverts are anticipated to back up onto the golf course lands and not upstream lands.

- The concrete weir at Station 0+024 (Structure 2) has an invert elevation of 190.64m. The weir invert is 1.47m above the estimated channel bottom. Under the current conditions, the weir causes water to pond for a distance of 680m upstream to Station 0+704. The increased water appears to back up onto the golf course lands, and not upstream lands.
- The concrete weir at Station 1+097 (Structure 11) has an invert elevation of 192.79m. Under the current conditions, the weir causes water to pond for a distance of 570m upstream to Station 1+668. The hydraulic model indicates that the weir backs up water to Station 1+481 (#3834 Lakeshore Road) a minimum of 0.40m. The weir invert is the same elevation as the upstream Robertson Drain outlet invert.
- A landowner at #3834 Lakeshore Road requested the Town of Plympton-Wyoming review the effects the private structures, that are located on the Sawmill Creek Golf Course lands, have on the McFarlane Drain water levels. The landowner feels the downstream weir at Station 1+097 (Structure 11) is restricting flows, causing water to pool in the drain behind his lands, is causing increased water levels in the drain during storm events, and has caused a change in flow pattern of the drain which is causing bank erosion. The landowner feels that when the pond at Station 1+097 was drained for repairs to an upstream structure, the water level in the drain was similar to the levels before the weir (Structure 11) was installed.
- R. Dobbin Engineering Inc. informed the landowner of #3834 Lakeshore Road, that minor bank erosion on a Municipal Drain is repaired through a maintenance request to the Town of Plympton-Wyoming Drainage Superintendent. If the landowner wants the banks repaired, he would need to submit a request for maintenance.
- A landowner at Station 1+560 (#3852 Lakeshore Road) requested the Town of Plympton-Wyoming review the effects the private structures, that are located on the Sawmill Creek Golf Course lands, have on the McFarlane Drain water levels. The landowner feels that when the pond at Station 1+097 was drained for repairs to an upstream structure, the McFarlane Drain functioned better and their sump pump did not cycle as often. The landowner commented that in his opinion the channel bank erosion was due to the elevated water level.
- R. Dobbin Engineering Inc. informed the landowner of #3852 Lakeshore Road that minor bank erosion on a Municipal Drain is repaired through a maintenance request to the Town of Plympton-Wyoming Drainage Superintendent. If the landowner wants the banks repaired, he would need to submit a request for maintenance. R. Dobbin Engineering Inc. informed the landowner that in their opinion, the reduced sump pump cycling may be a result of the weather.
- As part of the investigation, R. Dobbin Engineering Inc. surveyed the top of the foundation of the four homes that abut the drain, just north of Lakeshore Road, and estimated a footing elevation for each home. The assumed bottom of footing elevation for the

residential homes along the drain between Station 1+440 and Station 1+560 are higher than the top of weir elevation. After rain events, the estimated water level in the drain will be above the assumed bottom of the foundation elevation of the residential homes which is not uncommon on drains.

- Direct connection of footing tiles to a drain is prohibited under the sewer bylaw. Sump pumps should always discharge to an approved storm sewer or to grade and flow overland to the drain. When landowners privately connect sump pumps directly to a drain, it is their responsibility to install adequate backflow protection devices. Backflow preventors are a mechanical device which can fail, and requires maintenance. Landowners should not rely on backflow preventors to protect their properties.

Drain Classification

The Ontario Ministry of Agriculture, Food and Agribusiness (OMAFRA), agricultural mapping, indicates that the McFarlane Drain is unrated with the exception of the upper portion of the drain, between Station 3+896 and Station 5+103, which is classified as a Class F Drain.

On Site Meeting

Two site meetings were held on August 9, 2021 at #6767 Camlachie Road (Pavilion) in Camlachie. The first meeting was between 1:00 p.m. and 2:00 p.m. and the second meeting was between 3:00 p.m. and 4:45 p.m.

The following attended the meeting:

Elizabeth Cummings – Town of Plympton-Wyoming

Councillor Atkinson – Town of Plympton-Wyoming

Kelli Smith – St. Clair Region Conservation Authority

Mike Gerrits – M. Gerrits Consulting Inc.

J. Aikin – Landowner

P. Field – Landowner

T. Aquilina – Landowner

V. Frijia – Landowner

R. Archer – Landowner

R. Fuller – Landowner

B. Bester – Landowner

W. Krawczyk – Landowner

K. Bester – Landowner

M. Lines – Landowner

A Boychuk – Landowner

H. Long – Landowner

E. Boychuk – Landowner

M. Long – Landowner

B. Chiasson – Landowner

L. Martini – Landowner

C. Chiasson – Landowner

J. McAlpine – Landowner

F. Clement – Landowner

L. Muhlig – Landowner

R. Dayman – Landowner

T. Muhlig – Landowner

C. Dewsbury – Landowner

R. Nauta – Landowner

N. Elliot – Landowner

R. Nuta – Landowner

R. Nauta – Landowner	L. Walsh – Landowner
W. Needham – Landowner	L. Walsh – Landowner
T. Palmer – Landowner	A. Wells – Landowner
J. Pereke – Landowner	R. Welsh – Landowner
P. Policelli – Landowner	B. Winch – Landowner
B. Sommerville – Landowner	P. Woodhurst – Landowner
M. Sommerville – Landowner	T. Wright – Landowner
R. Sommerville – Landowner	M. Wyrzykowski – Landowner
B. Tough – Landowner	

M. Gerrits completed a brief overview of the Drainage Act and informed all present of the following:

- The Town of Plympton-Wyoming received a complaint from a landowner upstream of the golf course. The landowner feels that the ponds on the Sawmill Creek Golf Course are backing up water, and are therefore an obstruction. A detailed hydraulic analysis was completed on the ponds, and it was determined the pond by the clubhouse was backing up water in the channel on upstream lands.
- In 1984 J. A. Monteith authored a drain report. The report included removing and replacing the farm access on the golf course with a low-level type crossing. The report did not identify other culverts or weirs within the lands owned by the Sawmill Creek Golf Course. The report did note that some golf course accesses had small boiler plate culverts, which are often installed as part of a low-level crossing. These low-level crossings were likely installed before the 1984 drain report.
- The intention of this meeting is to inform landowners of the request, gather feedback on the drain, verify if landowners upstream have any issues with tile water backing up as a result of the water levels in the drain, and determine if any other issues need to be addressed, such as bank stabilization etc. It is easier to complete improvements when a drain report is opened.
- Prior to submitting the report, a meeting will be held and a preliminary design presented.
- A Meeting to Consider the Report will be held and landowners can ask questions at this meeting with respect to the design. All Landowners are encouraged to ask questions at this meeting rather than the future meetings. Once you receive the report, please contact the R. Dobbin Engineering Inc. if you have questions or concerns about your assessment, or attend the Meeting to Consider the Report.
- A Court of Revision will be held where landowners can appeal their costs. If landowners feel their assessment is unfair, unjustified etc. then they can consider appealing to the Court of Revision.
- There is a tribunal where landowners can appeal the decision of the Court of Revision. Tribunal hearings incur costs and these costs are distributed as per the tribunal decision.

Landowners voiced the following concerns:

- Many landowners had questions relating to the obstructions in the drain and why the obstruction cannot be removed without a report. M. Gerrits informed the landowners that there have been several meetings with the owner of the weir, but that they were not productive. R. Dobbin Engineering Inc. completed a hydraulic study on the golf course lands. The report had options for lowering the water level. Notching out the weir was not an option since a detailed analysis would be required to determine if modifications to the existing weir structure can be made without affecting the structural integrity of the weir. Landowners voiced their opinion that the weir should be removed or the valves modified to see how it affects the water levels. A report would be required to remove the weir and utilize the existing valve. Constant monitoring of the water-levels would be required to ensure the golf course landowner does not close the valve. A landowner questioned if the pond had a permit. M. Gerrits informed landowners that the pond had a permit from the MNR, but that the ponds were installed in the drain without a report. Landowners asked about options to leave the weir and stated that the downstream channel was overgrown and affected flows in the drain. M. Gerrits informed landowners that like many drains in the Town of Plympton-Wyoming, the channel is only designed for the 2-year storm event and under larger events, the water would back up and fill the channel. M. Gerrits informed Landowners that the weir will back up water, regardless of the condition of the upstream and downstream channel, and that the golf course owner was informed of a couple of options to modify the pond to reduce the water level of the pond. Landowners also questioned the need for a new grade line/report. E. Cummings informed landowners that when an older report on an urban drain is opened, the report would be updated with a grade line and schedules to allow for maintenance.
- A landowner questioned if the report considers the wildlife habituate, standing water etc. M. Gerrits informed the landowners that the report will require approval from the Conservation Authority.
- A landowner requested clarification on ditch realignments and cleanouts, as the drain is located beside his house. E. Cummings informed the landowner that they need to request maintenance through a form, and that a realignment is possible, but the landowner would need to complete a Section 78 request, for an improvement on the drain. Typically, costs associated with realignments are assessed against the requesting landowner.
- A landowner mentioned there is a storm sewer outlet to the pond and that the pond is used as a settlement pool. M. Gerrits informed landowners that the storm sewer can connect to the drain. Landowners mentioned the storm sewer has an oil grit separator for quality treatment. The storm sewer outlet will remain, regardless of any improvements to the drain.
- An unidentified landowner would like his concerns documented with respect to tree clearing along the drain. The landowner is not in favour of removing all the trees that act

as a buffer on his lands. M. Gerrits informed all landowners that the drain has a working corridor and if needed, the drain would be cleaned and brushed. Saving trees is difficult and would be determined at the time of construction. Landowners were informed that if there is a request for maintenance, the requesting landowner has the right to have their water conveyed to a sufficient outlet. The Landowner's concerns are documented in these minutes and can be raised again in the future meetings. E. Cummings suggested the landowner submit a letter to the Town. The landowner was informed there will be a design meeting where the Engineer will go over the design. E. Cummings informed landowners that there have been 2 requests for maintenance on the drain.

- A landowner questioned how large the watershed was and how much sediment was in the drain. M. Gerrits informed the landowner that he did not have the total watershed area but estimated that there will be between 150mm and 300mm of sediment in the drain.
- A landowner provided a brief history of the works on the golf course.
- A landowner requested clarification on outlet assessments. M. Gerrits informed landowners, that the outlet assessment deals with the conveyance of water through a section of drain, and is based on the equivalent area of land in the watershed. Agricultural lands are rated a 1 ha of land to 1 eq. ha of land (1:1), rural residential lands 1.5-2:1, residential lands 2:1, gravel road 3:1 and paved road 4:1. The assessment is based on landowners paying for the sections of drain their water uses.

Additional Meetings

In addition to the site meeting, there was one (1) landowner presentation to Council, three (3) additional meetings with the landowner who had concerns regarding drain water levels, ten (10) additional meetings with the golf course owner, and one (1) public meeting to review the draft report with landowners. In addition to these meetings, the Town of Plympton-Wyoming provided all benefiting landowners the opportunity to schedule an individual meeting with the Town and Engineer. The following is a brief summary of those meetings.

ARN 340.020.14100 (Owner Identification No. 9-11) & 340.020.12500 (Owner Identification No. 10-08)

The landowner preferred to notch the weir rather than install the proposed by-pass pipe. The landowner preferred a shallow notch. The landowner was concerned about the water depth in the pond at Station 1+097. The landowner was informed that the notch will be designed to convey the 2-year design storm, that the notch dimension would be determined once all the benefiting landowner meetings were completed, that the landowner could deepen the pond at their own expense if they wanted to keep a water feature and that the notch would be a private notch completed by the landowner. Failure

to notch the weir or maintain the notched weir would result in the weir being removed from the drain at the expense of the landowner.

ARN 340.020.17600 (Owner Identification No.C-2)

The landowner requested clarification on drainage patterns within their lands. The Engineer confirmed that the entire parcel was in the drain watershed, and additionally, that 0.04 Ha of lands entered the drain via the Trusler Branch Drain

ARN 340.020.22600 (Owner Identification No.C-5)

The landowner could not attend the meetings and requested a brief overview of the proposed work. M. Gerrits contacted the landowner to discuss the project.

ARN 340.020.20000 (Owner Identification No. E-5)

The landowner did not have significant concerns. The landowner was informed that the clearing and brushing would be from the adjacent lands, and should not significantly impact their lands.

ARN 340.020.20100 (Owner Identification No. E-11)

The landowner voiced that he thought the drain along his lands was functioning properly and did not need maintenance. The landowner maintains the drain, and would prefer no works be completed. The landowner was concerned that the work would affect the floodplain mapping. The landowner was informed that drain work does not normally affect floodplain mapping, as the drain exists and is already accounted for in the floodplain mapping. The landowner was informed that the entire drain is overgrown, and is in need of maintenance.

ARN 340.020.19503 (Owner Identification No. E-23) & ARN 340.020.19505 (Owner Identification No. E-30)

The Landowner was concerned that the proposed works may cause the banks to be more unstable. The landowner requested the east bank not be brushed and asked that all work be completed from the west side of the drain. The landowner was informed that due to the adjacent road allowance, the work could be completed from the west bank, and limit the amount of brushing and tree removal from the east bank. The Town and Engineer met the landowner onsite to review their concerns. The work can be completed from the west bank, however, it is noted the majority of work will be on the landowner's land, east of the existing road allowance. The landowner was also made aware that a portion of the bank on the east side of the drain is eroding, and if need be, equipment may be required to work from the west bank in isolated areas. The bank erosion will be monitored, and no work is proposed at this time.

ARN 340.020.19402 (Owner Identification No. E-34)

The landowner voiced concern that a row of trees would be removed along the east side of the property. The landowner asked what would be done with the clearing debris. The landowner was informed that the majority of the drain was located on the adjacent road allowance, and that the trees beyond the top of the west bank will likely not be disturbed. Clearing debris will be removed from their lands, and burned within the watershed, or hauled off site.

ARN 340.020.20700 (Owner Identification No. E-52)

The landowners were concerned about the number of trees to be removed, existing private materials stockpiled in their yard, clearing and grubbing debris, channel bank stability and the existing pedestrian bridge. The owners were informed that the bridge can remain, providing it is not negatively affecting the drain. If it has to be removed in the future, the costs will be assessed back to the landowner. The stockpiled materials on the drain's working corridor would need to be removed prior to construction. Clearing debris will be removed from their lands, and burned within the watershed, or hauled off site. The Town and Engineer met the landowner onsite to review their lands.

ARN 340.020.20703 (Owner Identification No. E-58)

The landowner was concerned about the number of trees to be removed, and the effect the works will have on the drain's banks. The landowner stated the banks were vertical, that an old apple tree was stabilizing the bank and one tile outlet needs repair. The landowner was informed that the trees at the top of the west bank, and in the upper reaches of the side slope, will not likely be removed unless they are a hazard, dead, or appear to impede drainage. The ditch cleanout will be minimal. The apple tree can remain and the tile outlet will be repaired.

ARN 340.020.20703 (Owner Identification No. E-59)

The landowners were concerned about the number of trees to be removed and the method that the trees are removed. The landowners were informed that the trees at the top of the west bank and in the upper reaches of the side slope, will not likely be removed unless they are a hazard, dead, or appear to impede drainage. The ditch cleanout will be minimal. The landowner was informed that the Engineer, or their representative, may meet with the clearing Contractor onsite, to flag the trees that will remain.

ARN 340.020.20704 (Owner Identification No. E-60)

The landowners were concerned about the number of trees to be removed. The landowners stated that their banks were almost vertical and that debris builds up at the Camlachie Road centreline culvert. The landowners were informed that the trees at the top of the west bank and in the upper reaches of the side slope will not likely be removed

unless they are a hazard, dead, or appear to impede drainage. The ditch cleanout will be minimal

ARN 340.020.20700 (Owner Identification No. E-61)

The landowners were concerned about the number of trees to be removed, and how the works would affect the existing foot path and ornamental trees, within the working corridor. The landowners mentioned that debris builds up at the Camlachie Road centreline culvert. The landowners were informed that the trees at the top of the west bank, and in the upper reaches of the side slope, will not likely be removed unless they are a hazard, dead, or appear to impede drainage. The ditch cleanout will be minimal. The Town and Engineer met with the landowners onsite to complete a detailed review of their lands. The Engineer will review the grades to determine if a ditch bottom cleanout is required along their lands or if it is limited to clearing and brushing. The landowners were informed that some trees may be required to be removed, but the Engineer will review the amount and determine if the works can be completed by hand. The landowners were informed that any disturbed areas will be restored to the original condition or better; however, trees planted within the working corridor that need to be removed to facilitate construction, will not be restored. The Engineer will review allowances to determine if a suitable allowance was provided to the lands, to account for the land use.

ARN 340.020.14203 (Owner Identification No. F-1)

The landowner did not have significant concerns. The landowner was informed that the clearing and brushing would be from the adjacent lands, and should not significantly impact their lands.

ARN 340.020.14202 (Owner Identification No. F-2)

The landowner prefers the downstream weir be removed, that the large willow tree on the golf course lands be removed, that the channel be realigned to account for the bend at the willow tree, that channel bank protection be installed at the bend adjacent to the willow tree, that minimal tree removal be completed, that there be minimal disturbance to the channel bottom, and that the drain not be maintained between Lakeshore Road and the golf course lands. The landowner was informed that the proposed notch in the downstream weir will be designed to accommodate the 2-year design storm, that any channel realignments, less standard maintenance costs, are assessed to the landowner requesting the realignment, that there was erosion protection works included in the report for the bend downstream of their lands, and that the landowner's request to do minimal channel works, would result in ponding water within the drain. Ponding water in the drain would not address the landowner's original request, to improve the drain to reduce standing water within the channel.

ARN 340.020.14204 (Owner Identification No. F-3)

The landowner preferred the downstream weir be removed, that the large willow tree on the golf course lands be removed, that channel bank protection be installed at the bend adjacent to the willow tree, that minimal tree removal be completed, and that minimal disturbance to the channel bottom be completed. The landowner was informed that the proposed notch in the downstream weir will be designed to accommodate the 2-year design storm, that any channel realignments, less standard maintenance costs, are assessed to the landowner requesting the realignment, that there was erosion protection works included in the report for the bend downstream of their lands, and that the landowner's request to do minimal channel works, would result in ponding water within the drain, and would not address a landowner's request on the drain to improve the drain to reduce standing water within the channel.

ARN 340.020.14264 (Owner Identification No. F-4)

The landowner preferred the drain elevation to be at the same elevation the drain was at when the downstream bridge was repaired, that the large willow tree on the golf course lands be removed, that channel bank protection be installed at the bend adjacent to the willow tree, that channel bank protection be installed along the west part of his lands, that minimal tree removal be completed, and that minimal disturbance to the channel bottom be completed. The landowner was informed that the proposed notch in the downstream weir will be designed to accommodate the 2-year design storm, that the weir elevation will likely be at the same elevation as the existing bypass pipe, which will result in water levels being at the same elevation that they were when the downstream bridge was repaired, that any channel realignments less standard maintenance costs are assessed to the landowner requesting the realignment, that there was erosion protection works included in the report for the bend downstream of their lands adjacent to the willow tree, that there was not erosion protection along the west bank of their lands included in the report, and that the landowner's request to do minimal channel works, would result in ponding water within the drain, and would not address a landowner's request on the drain, to improve the drain to reduce standing water within the channel.

Recommendations

R. Dobbin Engineering Inc. recommends that a new drain report be prepared for a drainage works to be known as the McFarlane Drain (2026) across Lots 8, 9, 10 and 11, Concessions 7, 8, 9 and 10 in the Town of Plympton-Wyoming. The report includes the following:

- Provide a new grade line for maintenance.
- Install Structure 22 at Station 3+142.
- Design a secondary access culvert for future replacement at Station 3+222 (Structure 24), for the lands ending with the ARN 340.020.10000, Owner Identification No. 8-05, (Pt Lot 11, Concession 8).
- Clarify the primary access for the lands ending with the ARN 20-125-00 Owner Identification No. 10-08. (west ½ of Sawmill Creek Golf Course) is at Station 0+289 (Structure 4), and all other accesses on this property are considered secondary accesses.
- Clarify the primary access for the lands ending with the ARN 20-141-00, Owner Identification No. 9-11 (east ½ of Sawmill Creek Golf Course) is at Station 0+856 (Structure 8), and all other accesses on this property are considered secondary accesses.
- Report includes clearing, grubbing and cleaning out the drain from the pond on the golf course lands (Station 1+163) to Egremont Road Station 2+540.
- Provide provisions for a future bridge crossing that may service a development on the lands ending with the ARN 340.020.14100 at Station 1+415 (approximate).
- The report does not include culvert replacements.
- Prepare Schedules of Maintenance for the drain.
- Provide future maintenance specifications for the drain.

Design

The proposed open channel drain improvements shall be designed to maintain the current design flow. This is generally acceptable for lands used for cash crops with provision for surface water.

Culvert design criteria include the following:

- Lakeshore Road and Camlachie Road centreline culverts shall be designed to accommodate the minimum 1 in 100-year storm event.
- Egremont Road, Hyslop Line and any other future centreline road culverts in road allowances, shall be designed to accommodate the minimum 1 in 25-year storm event.
- Access culverts shall be designed to accommodate the minimum 1 in 2-year storm event.
- The proposed culvert will be embedded 10% into the native substrate.
- The weir, outlet chamber, and outlet piping at Station 1+197 shall be removed.
- The weir at Station 0+024 shall be incorporated into the drain.

Recommendations

R. Dobbin Engineering Inc. recommends that a new drain report be prepared for a drainage works to be known as the McFarlane Drain (2026) across Lots 8, 9, 10 and 11, Concessions 7, 8, 9 and 10 in the Town of Plympton-Wyoming. The report includes the following:

- Provide a new grade line for maintenance.
- Install Structure 22 at Station 3+142.
- Design a secondary access culvert for future replacement at Station 3+222 (Structure 24), for the lands ending with the ARN 340.020.10000, Owner Identification No. 8-05, (Pt Lot 11, Concession 8).
- Clarify the primary access for the lands ending with the ARN 20-125-00 Owner Identification No. 10-08. (west ½ of Sawmill Creek Golf Course) is at Station 0+289 (Structure 4), and all other accesses on this property are considered secondary accesses.
- Clarify the primary access for the lands ending with the ARN 20-141-00, Owner Identification No. 9-11 (east ½ of Sawmill Creek Golf Course) is at Station 0+856 (Structure 8), and all other accesses on this property are considered secondary accesses.
- Report includes clearing, grubbing and cleaning out the drain from the pond on the golf course lands (Station 1+163) to Egremont Road Station 2+540.
- Provide provisions for a future bridge crossing that may service a development on the lands ending with the ARN 340.020.14114 at Station 1+415 (approximate).
- The report does not include culvert replacements.
- Prepare Schedules of Maintenance for the drain.
- Provide future maintenance specifications for the drain.

Design

The proposed open channel drain improvements shall be designed to maintain the current design flow. This is generally acceptable for lands used for cash crops with provision for surface water.

Culvert design criteria include the following:

- Lakeshore Road and Camlachie Road centreline culverts shall be designed to accommodate the minimum 1 in 100-year storm event.
- Egremont Road, Hyslop Line and any other future centreline road culverts in road allowances, shall be designed to accommodate the minimum 1 in 25-year storm event.
- Access culverts shall be designed to accommodate the minimum 1 in 2-year storm event.
- The proposed culvert will be embedded 10% into the native substrate.
- The weir, outlet chamber, and outlet piping at Station 1+197 shall be removed.
- The weir at Station 0+024 shall be incorporated into the drain.

- The future bridge crossing that may service a development on the lands ending with the APN 340.020.14100 at Station 1+415 (approximate) shall be design to convey the regional storm event.

Approvals

All construction will be completed in accordance with the Department of Fisheries and Oceans (DFO) regulations, and the applicable Conservation Authority permits.

Estimate of Cost

It is recommended that the work be carried out in accordance with the accompanying specification of work and profile, that form a part of this report. An Estimate of Cost has been prepared in the amount of \$478,294, which includes engineering fees and allowances for landowner correspondence, and inspection during construction.

A plan has been prepared, which shows the location of the work and the approximate drainage area. Profiles have been prepared, which show the depths and grades of the proposed work.

Assessment

As per Section 21 of the Drainage Act, a Schedule of Assessment for the lands and roads affected by the McFarlane Drain (2026) has been prepared.

Lands, roads, buildings, utilities, or other structures that are increased in value or are more easily maintained as a result of the construction, improvement, maintenance, or repair of a drainage works, may be assessed for benefit (Section 22).

Lands and roads that use the drainage works as an outlet, for which the drainage works are constructed or improved, an improved outlet is provided either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse, may be assessed for outlet. The assessment for outlet shall be based on the volume and the rate of flow of the water artificially caused to flow into the drainage works, from the lands and roads liable for such assessments. If, from any land or road, water is artificially caused by any means to flow upon and injure any other land or road, the land or road from which the water is caused to flow, may be assessed for injuring liability with respect to a drainage works to relieve the injury so caused to such other land or road (Section 23).

The Engineer may assess for special benefit, any lands for which special benefits have been provided by the drainage works (Section 24).

- The future bridge crossing that may service a development on the lands ending with the ARN 340.020.14114 at Station 1+415 (approximate) shall be design to convey the regional storm event.

Approvals

All construction will be completed in accordance with the Department of Fisheries and Oceans (DFO) regulations, and the applicable Conservation Authority permits.

Estimate of Cost

It is recommended that the work be carried out in accordance with the accompanying specification of work and profile, that form a part of this report. An Estimate of Cost has been prepared in the amount of \$478,294, which includes engineering fees and allowances for landowner correspondence, and inspection during construction.

A plan has been prepared, which shows the location of the work and the approximate drainage area. Profiles have been prepared, which show the depths and grades of the proposed work.

Assessment

As per Section 21 of the Drainage Act, a Schedule of Assessment for the lands and roads affected by the McFarlane Drain (2026) has been prepared.

Lands, roads, buildings, utilities, or other structures that are increased in value or are more easily maintained as a result of the construction, improvement, maintenance, or repair of a drainage works, may be assessed for benefit (Section 22).

Lands and roads that use the drainage works as an outlet, for which the drainage works are constructed or improved, an improved outlet is provided either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse, may be assessed for outlet. The assessment for outlet shall be based on the volume and the rate of flow of the water artificially caused to flow into the drainage works, from the lands and roads liable for such assessments. If, from any land or road, water is artificially caused by any means to flow upon and injure any other land or road, the land or road from which the water is caused to flow, may be assessed for injuring liability with respect to a drainage works to relieve the injury so caused to such other land or road (Section 23).

The Engineer may assess for special benefit, any lands for which special benefits have been provided by the drainage works (Section 24).

A Schedule of Assessment for the lands and roads affected by the McFarlane Drain has been prepared as per the Drainage Act. Assessments may be made against any Public Utility or Road Authority, as per Section 26 of the Drainage Act, for any increased cost for locating, special backfill or construction, or for the removal or relocation of any of its facilities or plants that may be necessary for the construction or maintenance of the drainage works. Items to be assessed under Section 26 shall be tendered separately, and the Utility or Road Authority shall be assessed the actual construction costs, plus the associated overhead and engineering costs (20% of the construction costs).

The estimated cost of the drainage works has been assessed in the following manner:

- The 2020 McFarlane Drain Hydrology Report has been assessed with approximately 18% of the cost to the lands with the ARN ending in 340.020.14100, Owner Identification No. 9-11, 32% of the costs to the lands with the ARN ending in 340.020.12500, Owner Identification No. 10-08, and the remainder assessed as an outlet assessment to the upstream properties, based on equivalent hectares.
- The future culvert engineering fees for primary access culverts has been assessed with 33% of the cost to the benefitting landowner, and the remainder assessed as an outlet assessment to the upstream properties, based on equivalent hectares.
- The future culvert engineering fees for public centreline road culverts, has been assessed with 100% of the cost to the benefitting Road Authority.
- The future culvert engineering costs for secondary accesses 1, 2, 3, 4, 5, 6 and 7 has been assessed to the lands with the ARN ending in 340.020.12500, Owner Identification No. 10-08.
- The future culvert engineering costs for secondary accesses 10, 11, 12 and 13 has been assessed to the lands with the ARN ending in 340.020.14100, Owner Identification No. 9-11.
- The future culvert engineering costs for secondary access 24 has been assessed to the lands with the ARN ending in 340.020.10000, Owner Identification No. 8-05.
- The cost to remove the existing weir, outlet chamber and outlet piping at Station 1+197, has been assessed to the lands with the ARN ending in 340.020.14100, Owner Identification No. 9-11.
- The costs to incorporate the weir at Station 0+124, has been assessed to the lands with the ARN ending in 340.020.12500, Owner Identification No. 10-08.
- The open channel improvement costs, excluding any structures, between the Sawmill Creek Golf Course clubhouse access at Station 1+163 (Structure 12) and Egremont Road (Station 2+530), has generally been assessed with 17% of the cost to the benefitting landowner(s) and the remainder assessed as an outlet assessment to the upstream properties, based on equivalent hectares.

- Culvert/Structure 22 (Station 3+142, is a primary access culvert and has generally been assessed with 33% of the cost to the benefiting landowner(s) and the remainder assessed as an outlet assessment to the upstream properties, based on equivalent hectares.

All final costs included in the cost estimate of this report, except special benefits, shall be pro-rated based on the Schedule of Assessment. Any additional costs shall be assessed in a manner as determined by the Engineer, in accordance with the Drainage Act.

Allowances

Under Section 29 of the Drainage Act, the Engineer in his report shall estimate and allow in money to the Owner of any land that it is necessary to use for the construction or improvement of a drainage works, or for the disposal of material removed from drainage works. This shall be considered an allowance for right-of-way. Section 29 allowances will not be provided under this report, since the work includes improving an existing drain within an established right-of-way, which received allowances under a previous report.

Under Section 30 of the Drainage Act, the Engineer shall determine the amount to be paid to persons entitled for damage, if any, to ornamental trees, lawns, fences, land and crops occasioned by the disposal of material removed from a drainage works. This shall be considered an allowance for damages. Section 30 allowances will be provided under this report, and are based on \$2,250.00 per hectare.

Access and Working Area

Access to the drain shall be gained from road allowances, when possible, along existing private lanes, fence lines, property lines, and the drain. Access to the working area along the private lanes, property lines and fence lines, shall be restricted to a width of 6m. In addition to the road allowances, the additional access and working areas for future repair and maintenance, have been summarized below:

- Station 0+000 to Station 0+886 – 20m on the north side of the drain and 2m on the south side of the drain.
- Station 0+886 to Station 1+168 – 20m on the south side of the drain and 2m on the north side of the drain.
- Station 1+168 to Station 1+436 – 15m on the southeast side of the drain and 4m on the northwest side of the drain.
- Station 1+436 to Station 1+567 (Lakeshore Road) – 10m on the north side of the drain and 2m on the south side of the drain.
- Station 1+567 to Station 1+622 – Lakeshore Road road allowance.

- Station 1+622 to Station 1+688 – Camlachie Road road allowance.
- Station 1+688 to Station 2+139 – 20m on the north and east sides of the drain and 4m on the south and west sides of the drain.
- Station 2+139 to Station 2+196 (Park Street road allowance) – 20m on the west side of the drain and 2m on the east side of the drain
- Station 2+196 to Station 2+209 – Park Street road allowance.
- Station 2+209 (Park Street road allowance) to Station 2+530 (Egremont Road road allowance) – 15m on the north and east sides of the drain and 2m on the south and west sides of the drain.
- Station 2+530 to Station 2+553 – Egremont Road road allowance.
- Station 2+553 to Station 3+183 – 20m on the north and east sides of the drain and 4m on the south and west sides of the drain.
- Station 3+183 to Station 3+208 – Hyslop Line Road road allowance.
- Station 3+208 to Station 5+103 – 20m on the north and east sides of the drain and 4m on the south and west sides of the drain.

The working area around culverts shall extend to 12m from the adjacent finished top of bank on each side of the drain, for a distance of 20m upstream and downstream of the culvert.

Although not anticipated, in the future, channel bank erosion maintenance and isolated nuisance tree removals may need to be completed from the opposite side of the channel. When this occurs, the work will be done with minimal disturbance to the affected lands.

Restrictions

Following construction, no trees or shrubs shall be planted nor shall permanent structures be erected within the working area, without prior written permission of Council, unless otherwise specified in this report.

Attention is also drawn to Sections 80 and 82 of the Drainage Act, which refers to a landowner's responsibility regarding obstruction of a drainage works, the removal of obstructions in a drain, and the damage caused to a drain by an obstruction.

Agricultural Grant

Under Section 85 of the Drainage Act, a grant may be available for assessments against privately owned parcels of land which are used for agricultural purposes, and are eligible for the Farm Property Class Tax Rate. Section 88 of the Drainage Act directs the Town to make application for this grant upon certification of this drain.

Maintenance

Upon completion of the work, the drainage works shall be repaired and maintained by the Town of Plympton-Wyoming, under the provisions of the Drainage Act, as per the applicable Schedule of Maintenance enclosed in this report, until said maintenance assessment is varied in accordance with the provisions of the Drainage Act. The Schedules of Maintenance are provided for the future maintenance of the drainage works, and are based on a percent (%) of the cost to maintain the drain.

- Public road culverts shall be installed or maintained with 100% of the cost to the benefitting Road Authority.
- Future primary access culverts 8, 9, 16, 17, 18, 19, 20, 22 and 25 shall be installed/maintained with 33% of the cost to the benefitting landowner, and the remainder assessed as an outlet assessment to the upstream properties, based on equivalent hectares.
- Secondary access culvert 24 shall be maintained with 100% of the cost to the benefitting landowner (lands with the ARN ending in 340.020.10000, Owner Identification No. 8-05).
- It is anticipated that many private culverts on the golf course lands will be replaced with bridges, and as such, future secondary/private culverts shall be installed or maintained by the landowner, on which the structure is located. If the existing private structures restrict flows or cause damage to the drain, the structures shall be removed by the Drainage Superintendent, with the costs assessed to the landowner on which the structure is located. All secondary access/ private culverts/ private bridges must be approved by the Drainage Superintendent in writing, prior to ordering of materials and installation of the access.
- The private weir (S2) at Station 0+024 shall be maintained or removed by the owner on which the weir is located. If the weir is not maintained, including removal of debris by the owner, the weir shall be removed by the Drainage Superintendent, with the costs assessed to the landowner on which lands the weir is located. All costs associated with the weir shall be assessed to the landowner with the ARN ending with 340.020.12500.

- All channel maintenance costs for work beyond the standard 2.3m channel width and 1.5H to 1V backslopes, between Station 1+197 and Station 1+163, shall be assessed to the landowner with the ARN ending with 340.020.14100.
- The section of drain upstream of Station 5+103 shall be maintained in accordance with the 1965 report.
- All costs associated with the future bridge crossing that may service a development on the lands ending with the ARN 340.020.14100 at Station 1+415 (approximate) shall be assessed to the benefiting landowner (the lands ending with the ARN 340.020.14100). Future maintenance shall be assessed with 100% of the costs to the owner of the lands on which the structure is located.

Yours truly,

MA
Aug 6, 2026
2020-1192



Michael Gerrits, P. Eng.
R. Dobbin Engineering Inc.

- All channel maintenance costs for work beyond the standard 2.3m channel width and 1.5H to 1V backslopes, between Station 1+197 and Station 1+163, shall be assessed to the landowner with the ARN ending with 340.020.14100.
- The section of drain upstream of Station 5+103 shall be maintained in accordance with the 1965 report.
- All costs associated with the future bridge crossing that may service a development on the lands ending with the ARN 340.020.14114 at Station 1+415 (approximate) shall be assessed to the benefiting landowner (the lands ending with the ARN 340.020.14114). Future maintenance shall be assessed with 100% of the costs to the owner of the lands on which the structure is located.

Yours truly,

MA
Aug 6, 2026
2020-1192



Michael Gerrits, P. Eng.
 R. Dobbin Engineering Inc.

Allowances have been made as per Sections 30 of the Drainage Act for damages to lands and crops, including future maintenance operations.

Conc.	Lot or Part	Aff. Hect.	Roll No.	Owner ID No.	Landowner	Section 30 (\$)	Total (\$)
<u>Agricultural Lands</u>							
9	Pt 10	26.7	340.020.23100	9-08	R. & R. Nauta	\$ 90	\$ 90
	Pt 10	24.6	340.020.20710	9-09	1062010 Ontario Ltd.	\$ 369	\$ 369
<u>Non - Agricultural Lands</u>							
8	Pt 9	8.8	340.020.14100	9-11	2869936 Ontario Inc.	\$ 670	\$ 670
9	Pt 9	0.7	340.020.14264	F4	W. & L. Needham	\$ 263	\$ 263
	Pt 10	1.7	340.020.20706	E61	Camlachie United Church	\$ 779	\$ 779
	Pt 10	0.5	340.020.20700	E52	W. & T. Somerville	\$ 79	\$ 79
	Pt 10	0.1	340.020.19305	E53	R. Dayman & M. Kelly	\$ 86	\$ 86
	Pt 10	0.1	340.020.19306	E54	R. Dayman & M. Kelly	\$ 27	\$ 27
	Pt 10	0.9	340.020.19400	E42	Southside Construction Management Limited	\$ 223	\$ 223
	Pt 10	0.9	340.020.19400	E43	Southside Construction Management Limited	\$ 297	\$ 297
	Pt 10	0.2	340.020.19503	E23	L. Winch	\$ 81	\$ 81
	Pt 10	0.1	340.020.19505	E30	L. Winch	\$ 45	\$ 45
	Pt 10	1.5	340.020.17600	C2	E. Burnley	\$ 176	\$ 176
	Pt 10	0.8	340.020.22600	C5	M. Wyrzykowski	\$ 146	\$ 146
	Pt 10	1.1	340.020.22710	C6	T. Dewsbury	\$ 196	\$ 196
	Pt 10	0.6	340.020.22801	C8	P. & A. Kerrigan	\$ 34	\$ 34
Total Allowances						\$ 3,561	\$ 3,561

McFarlane Drain (2026)
Town of Plympton-Wyoming
August 6, 2026

ESTIMATE OF COST

Item	Description	Quantity	Unit	Unit Price (\$)	Total (\$)
<u>General Items</u>					
1	Clearing Station 1+045 to Station 1+065	20	m	0	0
1	Clearing Station 1+163 to Station 2+540 (2 Sides) c/w Landower/Town Meetings	1,377	m	40	55,080
2	Additional Cost (+/-) to Hand Clearing Station 1+668 to Station 1+755 (Provisional)	87	m	20	1,740
3	Grubbing Station 1+163 to Station 2+540 (Stumps All Sizes)	1,377	m	35	48,195
4	Ditch Clean Out (1+163 to Station 2+540) c/w Trucking of Spoils	1,377	m	60	82,620
5	Remove Weir, Outlet Pipe and Outlet Chamber and Restore Channel Banks	1	ls	7,500	7,500
6	Work Around Pedestrian Bridge at Station 1+870	1	LS	250	250
7	Work Around Pedestrian Bridge at Station 2+025	1	LS	250	250
8	Work Around Pedestrian Bridge at Station 2+126	1	LS	250	250
9	Remove and Dispose of Pedestrian Bridge at Station 2+025 (Provisional)	1	LS	700	700
10	Remove Pedestrian Bridge at Station 2+126 (Provisional)	1	LS	700	700
11	Bank Stabilization Approximate Station 1+420	45	sq.m.	100	4,500
12	Bank Stabilization Approximate Station 2+491 (Provisional)	75	sq.m.	100	7,500
13	Bank Stabilization (Provisional)	100	sq.m.	100	10,000
14	Rip Rap Tile/ Pipe Outlets (2.5 sq.m. each)	15	ea	200	3,000
15	Hydro Seeding and Cover with Native Topsoil Generated Onsite (Station 1+163 to Station 2+540)	1,377	m	8	11,016
16	Straw Bale Check Dams (Station 1+163)	5	m	90	450
17	Straw Bale Check Dams (Station 1+668)	5	m	90	450
18	Straw Bale Check Dams (Station 2+220)	5	m	90	450
<u>Culvert 22 - Station 3+170</u>					
19	Clearing (Existing Channel)	20	m	15	300
20	Grubbing (Existing Channel)	20	m	15	300
21	Import Fill (Free Draining)	130	t	8	1,040
22	Supply & Install 1600mm dia. CSP Access Culvert	17	m	1,100	18,700
23	Supply & Install Granular Bedding Material	70	t	37	2,590
24	Supply & Install Rip Rap End Protection	42	sq.m.	100	4,200
25	Supply & Install Rip Rap Channel Protection	79	sq.m.	100	7,900
26	Supply & Install Granular 'A' (Surface Course Over Culvert 4m Either Side)	31	t	37	1,147.00
27	Silt Fence	5	m	90	450
					\$ 271,278
Contingency					40000
Allowances					3561
Engineering					62886
Engineering Related to Weir Incorporation and Removal					7540
Future Culvert Engineering Culverts					12000
Future Gradeline Engineering					12000
Hydrological Investigation					13000
Permitting					575
Construction Inspection Allowance					47250
Net H.S.T.					8204
Total Estimate					\$ 478,294

McFarlane Drain (2026)
Town of Plympton-Wyoming
August 6, 2026

SCHEDULE OF ASSESSMENT

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
Agricultural Lands											
7	Pt 11	340.020.06700	16.50	7-08	1886939 Ontario Ltd.	-	-	11,345	11,345	16.50	16.50
	Pt 11	340.020.06800	9.50	7-07	R. Smith	-	-	6,250	6,250	9.50	9.09
	pt 11	340.020.06900	10.51	7-06	J. & J. Verhoeven	-	-	7,225	7,225	10.51	10.51
	Pt 12	340.020.07000	19.90	7-05	R. Nauta	-	-	13,681	13,681	19.90	19.90
	Pt 12	340.020.07100	24.27	7-04	R. & A. Nauta	-	-	16,687	16,687	24.27	24.27
	Pt 13	340.020.07200	23.68	7-01	Vanderlinde Family Farms Ltd.	-	-	16,280	16,280	23.68	23.68
	Pt 13	340.020.07300	7.37	7-02	Vanderlinde Family Farms Ltd.	-	-	5,069	5,069	7.37	7.37
8	Pt 14	340.020.07305	7.43	7-03	W. & H. Vanderlinde	-	-	4,202	4,202	7.43	6.11
	Pt 10	340.020.09800	40.47	8-08	H. & A. Wouters Farms Ltd.	-	-	14,429	14,429	40.47	27.69
	Pt 10	340.020.09900	40.47	8-07	B. Wouters	-	-	17,650	17,650	40.47	29.00
	pt 11	340.020.10000	38.35	8-05	R. & R. Nauta	1,750	4,113	26,327	32,190	38.35	38.35
	pt 11	340.020.10100	42.00	8-04	H. & A. Wouters Farms Ltd.	-	-	22,321	22,321	42.00	42.00
	Pt 12	340.020.10200	43.09	8-03	G. & J. Edwards	-	-	22,176	22,176	43.09	41.04
	Pt 12	340.020.10300	21.75	8-02	G. & J. Edwards	-	-	5,618	5,618	21.75	20.98
9	Pt 12	340.020.10400	21.73	8-01	King 5 Farms Inc.	-	-	5,823	5,823	21.73	21.73
	Pt 9	340.020.13500	13.03	9-10	1062010 Ontario Ltd.	-	976	6,635	7,611	13.03	11.45
	Pt 10	340.020.20710	24.56	9-09	1062010 Ontario Ltd.	-	2,207	5,678	7,885	24.56	24.56
	Pt 10	340.020.23100	26.74	9-08	R. & R. Nauta	-	21,989	13,961	35,950	26.74	26.74
	pt 11	340.020.23200	18.85	9-07	1062010 Ontario Ltd.	-	-	5,050	5,050	18.85	18.85
	pt 11	340.020.23300	11.47	9-06	F. & J. Clement	-	-	5,972	5,972	11.47	11.47
	pt 11	340.020.23500	33.12	9-05	P. & E. Policelli	-	-	8,861	8,861	33.12	33.12
9/10	pt 11	340.020.23600	5.98	9-04	C. Donkers	-	-	1,937	1,937	5.98	5.98
	Pt 12	340.020.23700	4.98	9-02	G. Edwards	-	-	1,001	1,001	4.98	3.74
	Pt 12	340.020.23900	1.13	9-01	G. & J. Edwards	-	-	301	301	1.13	1.13
	Pt 12	340.020.23902	21.27	9-03	C. Edwards	-	-	5,697	5,697	21.27	21.27
	Pt 10 & 11	340.020.26605	37.60	10-02	Town of Plympton-Wyoming	-	-	7,518	7,518	37.60	36.56
	Pt 8	340.020.25250	0.09	10-09	S. MacKinlay	-	-	1	1	0.09	0.05
	PT 8 & 9	340.020.25600	27.28	10-07	3771 Queen Street Inc.	-	-	753	753	27.28	25.10
10	Pt 9	340.020.25800	3.97	10-06	Saul Farms Ltd.	-	-	119	119	3.97	3.97
	Pt 9	340.020.26000	28.74	10-04	A. Nauta	-	-	1,756	1,756	28.74	28.74
	Pt 9	340.020.26300	6.52	10-05	A. Nauta & M. Kleinsmith	-	-	188	188	6.52	6.27
	Pt 10	340.020.26400	47.93	10-03	TEK Holdings Limited	-	-	7,478	7,478	47.93	44.83
	Pt 11	340.020.26701	4.40	10-01	Fergusons' Scattered Acres	-	-	868	868	4.40	4.40
						1,750	29,285	268857	299892		
Total Special Benefit							1,750				
Total Benefit							29,285				
Total Outlet							268,857				
Total - Agricultural Lands						\$	299,892				

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
<u>Non - Agricultural Lands</u>											
8	Pt 9	340.020.14100	8.81	9-11	2869936 Ontario Inc.	9,935	13,682	337	23,954	8.81	7.05
	Pt 9	340.020.14114	4.35	F-7	Sawmill Creek Holdings Limited	-	-	1,040	1,040	4.35	8.70
	Pt 11	340.020.10003	0.84	8-06	R. Winter	-	-	1,148	1,148	0.84	1.68
9	Pt 8	340.020.12520	0.28	I-1	M. Amin	-	-	17	17	0.28	0.56
	Pt 8	340.020.12545	0.09	I-5	1000158255 Ontario Inc.	-	-	5	5	0.09	0.18
	Pt 8	340.020.12546	0.08	I-6	1000158255 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12547	0.08	I-7	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12548	0.08	I-8	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12549	0.08	I-9	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12550	0.08	I-10	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12551	0.08	I-11	1000158255 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12552	0.08	I-12	1000158255 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12553	0.08	I-13	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12554	0.23	I-14	2200911 Ontario Inc.	-	-	14	14	0.23	0.46
	Pt 8	340.020.12555	0.16	I-15	2200911 Ontario Inc.	-	-	10	10	0.16	0.32
	Pt 8	340.020.12556	0.09	I-16	2200911 Ontario Inc.	-	-	5	5	0.09	0.18
	Pt 8	340.020.12557	0.12	I-17	2200911 Ontario Inc.	-	-	7	7	0.12	0.24
	Pt 8	340.020.12558	0.12	I-18	1001348081 Ontario Inc.	-	-	7	7	0.12	0.24
	Pt 8	340.020.12559	0.10	I-19	1001348081 Ontario Inc.	-	-	6	6	0.10	0.20
	Pt 8	340.020.12560	0.10	I-20	2200911 Ontario Inc.	-	-	6	6	0.10	0.20
	Pt 8	340.020.12561	0.08	I-21	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12562	0.08	I-22	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12563	0.10	I-23	2200911 Ontario Inc.	-	-	6	6	0.10	0.20
	Pt 8	340.020.12564	0.14	I-24	2200911 Ontario Inc.	-	-	8	8	0.14	0.28
	Pt 8	340.020.12569	0.07	I-29	2200911 Ontario Inc.	-	-	4	4	0.07	0.14
	Pt 8	340.020.12570	0.07	I-30	RAF Engineering Group Inc.	-	-	4	4	0.07	0.14
	Pt 8	340.020.12571	0.08	I-31	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 8	340.020.12572	0.09	I-32	2200911 Ontario Inc.	-	-	5	5	0.09	0.18
	Pt 8	340.020.12573	0.02	I-3	Town of Plympton-Wyoming	-	-	1	1	0.02	0.04
	Pt 8	340.020.12574	0.03	I-4	Town of Plympton-Wyoming	-	-	2	2	0.03	0.06
	Pt 8	340.020.75028	0.05	G24	R. Mason & T. Hall	-	-	8	8	0.05	0.13
	Pt 8 & 9	340.020.12532	0.72	I-2	1684677 Ontario Ltd.	-	-	68	68	0.72	1.44
	Pt 8 & 9	340.020.75024	0.04	G26	P. Small	-	-	6	6	0.04	0.10
	Pt 8 & 9	340.020.75026	0.05	G25	M. & D. Muller	-	-	8	8	0.05	0.13
	Pt 8 & 9	340.020.12565	0.09	I-25	1000158255 Ontario Inc.	-	-	5	5	0.09	0.18
	Pt 8 & 9	340.020.12568	0.08	I-28	2200911 Ontario Inc.	-	-	5	5	0.08	0.16
	Pt 9	340.020.12528	0.13	J-2	G. & M. Shephard	-	-	16	16	0.13	0.26
	Pt 9	340.020.12566	0.14	I-26	2200911 Ontario Inc.	-	-	8	8	0.14	0.28
	Pt 9	340.020.12567	0.17	I-27	2200911 Ontario Inc.	-	-	10	10	0.17	0.34
	Pt 9	340.020.14000	1.99	J-34	1062010 Ontario Inc.	-	-	255	255	1.99	3.98
	Pt 9	340.020.14001	0.10	J-24	1062010 Ontario Inc.	-	-	12	12	0.10	0.20
	Pt 9	340.020.14002	0.09	J-25	1062010 Ontario Inc.	-	-	11	11	0.09	0.18
	Pt 9	340.020.14003	0.09	J-26	1062010 Ontario Inc.	-	-	11	11	0.09	0.18
	Pt 9	340.020.14004	0.08	J-27	1062010 Ontario Inc.	-	-	10	10	0.08	0.16
	Pt 9	340.020.14005	0.08	J-28	1062010 Ontario Inc.	-	-	10	10	0.08	0.16

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 9	340.020.14101	2.23	J-9	S. Kingston	-	-	287	287	2.23	4.46
	Pt 9	340.020.14102	0.18	J-10	J. & D. Jones	-	-	23	23	0.18	0.36
	Pt 9	340.020.14103	0.14	J-11	D. & S. Stevens	-	-	17	17	0.14	0.28
	Pt 9	340.020.14104	0.14	J-12	S. & N. Sapeta	-	-	17	17	0.14	0.28
	Pt 9	340.020.14105	0.14	J-13	T. & K. Nolan	-	-	17	17	0.14	0.28
	Pt 9	340.020.14107	0.29	D8	M. Sanders	-	-	87	87	0.29	0.58
	Pt 9	340.020.14110	0.13	J-3	2869936 Ontario Inc.	-	-	16	16	0.13	0.26
	Pt 9	340.020.14112	0.28	J-4	1777660 Ontario Inc.	-	-	35	35	0.28	0.56
	Pt 9	340.020.14202	0.31	F2	R. & L. Dayman	-	392	75	467	0.31	0.62
	Pt 9	340.020.14203	0.43	F1	B. Beauregard	-	679	104	783	0.43	0.86
	Pt 9	340.020.14204	0.18	F3	M. Dayman	-	621	46	667	0.18	0.36
	Pt 9	340.020.14260	0.41	F6	G. & C. Platten	-	-	128	128	0.41	0.82
	Pt 9	340.020.14262	0.35	F5	S. Vansteenkiste	-	-	109	109	0.35	0.70
	Pt 9	340.020.14264	0.66	F4	W. & L. Needham	-	621	166	787	0.66	1.32
	Pt 9	340.020.14300	2.19	J-5	Town of Plympton-Wyoming (Arnold Minielly Park)	-	-	332	332	2.19	4.70
	Pt 9	340.020.14310	0.80	D-15	Town of Plympton-Wyoming (Camlachie Community Centre)	-	-	430	430	0.80	2.80
	Pt 9	340.020.14350	1.30	D14	Town of Plympton-Wyoming (Arnold Minielly Park)	-	-	199	199	1.30	1.30
	Pt 9	340.020.14400	0.30	B14	R. Cody & E. Baker	-	-	242	242	0.30	0.60
	Pt 9	340.020.14420	0.36	B17	Town of Plympton-Wyoming (Camlachie Cemetery)	-	-	111	111	0.36	0.72
	Pt 9	340.020.14499	0.12	B40	T. Wright	-	-	36	36	0.12	0.24
	Pt 9	340.020.14501	0.21	B55	S. Ganter	-	-	64	64	0.21	0.42
	Pt 9	340.020.14502	0.14	B42	L. Young	-	-	42	42	0.14	0.28
	Pt 9	340.020.14605	0.24	B56	T. Dobbin & K. Harris	-	-	73	73	0.24	0.48
	Pt 9	340.020.14700	0.30	J-33	K. Clime	-	-	37	37	0.30	0.60
	Pt 9	340.020.14800	0.41	J-32	S. McCormick	-	-	54	54	0.41	0.82
	Pt 9	340.020.14805	0.08	B38	J. & C. Beauregard	-	-	29	29	0.08	0.20
	Pt 9	340.020.14808	0.10	B37	A. & L. Bissonnette	-	-	29	29	0.10	0.20
	Pt 9	340.020.14811	0.08	B39	B. MacDougall	-	-	29	29	0.08	0.20
	Pt 9	340.020.14814	0.08	B41	L. Cloud	-	-	29	29	0.08	0.20
	Pt 9	340.020.14817	0.12	B54	G. & C. Simpson	-	-	36	36	0.12	0.24
	Pt 9	340.020.14820	0.06	B51	C. & C. Veinot	-	-	22	22	0.06	0.15
	Pt 9	340.020.14823	0.06	B50	M. Deciano	-	-	22	22	0.06	0.15
	Pt 9	340.020.14826	0.06	B49	D. & E. Downton	-	-	22	22	0.06	0.15
	Pt 9	340.020.14829	0.06	B48	C. Dougan	-	-	22	22	0.06	0.15
	Pt 9	340.020.14832	0.08	B32	J. Hull	-	-	29	29	0.08	0.20
	Pt 9	340.020.14835	0.08	B33	B. Charette & R. Lisabeth	-	-	29	29	0.08	0.20
	Pt 9	340.020.14838	0.08	B34	L. & P. Kuipers	-	-	29	29	0.08	0.20
	Pt 9	340.020.14841	0.08	B35	L. & S. Capp	-	-	29	29	0.08	0.20
	Pt 9	340.020.14844	0.10	B36	S. Orrange	-	-	29	29	0.10	0.20
	Pt 9	340.020.14847	0.13	B52	Town of Plympton-Wyoming	-	-	39	39	0.13	0.26
	Pt 9	340.020.14850	0.07	B53	Town of Plympton-Wyoming	-	-	27	27	0.07	0.18
	Pt 9	340.020.14856	0.07	B16	S. & J. Manders	-	-	27	27	0.07	0.18
	Pt 9	340.020.14857	0.08	B15	L. & D. Nocholls	-	-	29	29	0.08	0.20
	Pt 9	340.020.14858	0.10	B13	D. & C Begg	-	-	29	29	0.10	0.20
	Pt 9	340.020.14859	0.05	B12	J. & E. McLean	-	-	19	19	0.05	0.13
	Pt 9	340.020.14860	0.06	B11	M. & A. Kelly	-	-	22	22	0.06	0.15
	Pt 9	340.020.14861	0.06	B10	J. & C. Whitelaw	-	-	22	22	0.06	0.15

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 9	340.020.14862	0.06	B9	K. Barnett	-	-	22	22	0.06	0.15
	Pt 9	340.020.14863	0.06	B8	D. & M Johnson	-	-	22	22	0.06	0.15
	Pt 9	340.020.14864	0.06	B7	C. & M Nap	-	-	22	22	0.06	0.15
	Pt 9	340.020.14865	0.08	B24	J. Darnell & D. Farlow	-	-	29	29	0.08	0.20
	Pt 9	340.020.14866	0.08	B25	D. Vandenberg	-	-	29	29	0.08	0.20
	Pt 9	340.020.14867	0.08	B26	L. & S. Karn	-	-	29	29	0.08	0.20
	Pt 9	340.020.14868	0.08	B27	G. & D. Elliot	-	-	29	29	0.08	0.20
	Pt 9	340.020.14869	0.10	B28	W. & M. Nameth	-	-	29	29	0.10	0.20
	Pt 9	340.020.14870	0.06	B6	N. Hodgkin	-	-	22	22	0.06	0.15
	Pt 9	340.020.14871	0.06	B5	J. & M. Vanegas	-	-	22	22	0.06	0.15
	Pt 9	340.020.14872	0.06	B4	1528535 Ontario Ltd.	-	-	22	22	0.06	0.15
	Pt 9	340.020.14873	0.06	B3	1528535 Ontario Ltd.	-	-	22	22	0.06	0.15
	Pt 9	340.020.14874	0.15	B1	1528535 Ontario Ltd.	-	-	46	46	0.15	0.30
	Pt 9	340.020.14875	0.11	B2	1684677 Ontario Ltd.	-	-	34	34	0.11	0.22
	Pt 9	340.020.14876	0.09	B18	1528535 Ontario Ltd.	-	-	35	35	0.09	0.23
	Pt 9	340.020.14877	0.09	B19	B. & S. Phillips	-	-	35	35	0.09	0.23
	Pt 9	340.020.14878	0.13	B20	1528535 Ontario Ltd.	-	-	39	39	0.13	0.26
	Pt 9	340.020.14879	0.19	B43	1528535 Ontario Ltd.	-	-	57	57	0.19	0.38
	Pt 9	340.020.14880	0.06	B44	1528535 Ontario Ltd.	-	-	22	22	0.06	0.15
	Pt 9	340.020.14881	0.06	B45	1528535 Ontario Ltd.	-	-	22	22	0.06	0.15
	Pt 9	340.020.14882	0.06	B46	1528535 Ontario Ltd.	-	-	22	22	0.06	0.15
	Pt 9	340.020.14883	0.06	B47	J. & M. Kucera	-	-	22	22	0.06	0.15
	Pt 9	340.020.14884	0.08	B31	D. & I. Barriault	-	-	29	29	0.08	0.20
	Pt 9	340.020.14885	0.07	B30	1528535 Ontario Ltd.	-	-	27	27	0.07	0.18
	Pt 9	340.020.14886	0.08	B29	1528535 Ontario Ltd.	-	-	29	29	0.08	0.20
	Pt 9	340.020.14887	0.08	B21	1528535 Ontario Ltd.	-	-	29	29	0.08	0.20
	Pt 9	340.020.14888	0.07	B22	J. Mamak & T. Moore	-	-	27	27	0.07	0.18
	Pt 9	340.020.14889	0.08	B23	R. & B. Hooper	-	-	29	29	0.08	0.20
	Pt 9	340.020.14900	0.37	J-31	G. Kerrigan	-	-	48	48	0.37	0.74
	Pt 9	340.020.15000	0.48	J-30	W. & E. Nowosad	-	-	62	62	0.48	0.96
	Pt 9	340.020.15100	0.40	J-29	M. Schoenmakers & K. Johnson	-	-	52	52	0.40	0.80
	Pt 9	340.020.15200	0.33	J-14	V. Symington	-	-	43	43	0.33	0.66
	Pt 9	340.020.15201	0.26	J-6	Persona Communications Inc.	-	-	33	33	0.26	0.52
	Pt 9	340.020.15300	0.11	J-15	M. Tourigny	-	-	14	14	0.11	0.22
	Pt 9	340.020.15400	0.35	J-7	S. Maw	-	-	46	46	0.35	0.70
	Pt 9	340.020.15500	0.39	J-8	C. Beauchamp	-	-	50	50	0.39	0.78
	Pt 9	340.020.15600	0.16	J-16	J. Spencer	-	-	20	20	0.16	0.32
	Pt 9	340.020.15700	0.35	J-17	B. Urlacher	-	-	46	46	0.35	0.70
	Pt 9	340.020.15800	0.15	J-18	M. & L. Goodacre	-	-	19	19	0.15	0.30
	Pt 9	340.020.15900	0.01	J-19	Town of Plympton-Wyoming	-	-	2	2	0.01	0.02
	Pt 9	340.020.16000	0.15	D3	Canada Post Corporation	-	-	68	68	0.15	0.45
	Pt 9	340.020.16101	0.12	D5	D. & H. Mackie	-	-	36	36	0.12	0.24
	Pt 9	340.020.16200	0.20	D6	Town of Plympton-Wyoming (Camlachie Fire Hall)	-	-	123	123	0.20	0.80
	Pt 9	340.020.16300	0.20	D4	D. Sybenga & E. Regan	-	-	61	61	0.20	0.40
	Pt 9	340.020.16400	0.10	D1	J. Lippiatt	-	-	29	29	0.10	0.20
	Pt 9	340.020.16401	0.12	D2	P. Delanghe	-	-	36	36	0.12	0.24
	Pt 9	340.020.16500	0.10	J-23	T. Doohan & S. Gardiner	-	-	12	12	0.10	0.20

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 9	340.020.16502	0.09	J-22	S. & B. Peterson	-	-	11	11	0.09	0.18
	Pt 9	340.020.16600	0.23	J-21	C. Dopson	-	-	29	29	0.23	0.46
	Pt 9	340.020.16700	0.14	J-20	B. Donkers & M. Edwards & C. Donkers	-	-	17	17	0.14	0.28
	Pt 9	340.020.16800	0.15	D7	J. Greenaway	-	-	46	46	0.15	0.30
	Pt 9	340.020.16900	0.23	D9	K. Moffatt & P. Williams	-	-	70	70	0.23	0.46
	Pt 9	340.020.17000	0.12	D10	B. Verwegen & A. Cooper	-	-	36	36	0.12	0.24
	Pt 9	340.020.17100	0.21	D11	S. Kabir	-	-	64	64	0.21	0.42
	Pt 9	340.020.17101	0.20	D12	K. Barnes	-	-	61	61	0.20	0.40
	Pt 9	340.020.17300	0.41	D13	Town of Plympton-Wyoming (Camlachie Library)	-	-	128	128	0.41	0.82
	Pt 9	340.020.75000	0.04	G10	C. Hennessy & P. Arts	-	-	6	6	0.04	0.10
	Pt 9	340.020.75002	0.04	G11	G. & I. Adamski	-	-	6	6	0.04	0.10
	Pt 9	340.020.75004	0.04	G22	1684677 Ontario Ltd.	-	-	6	6	0.04	0.10
	Pt 9	340.020.75006	0.05	G23	1684677 Ontario Ltd.	-	-	8	8	0.05	0.13
	Pt 9	340.020.75008	0.06	G35	1684677 Ontario Ltd.	-	-	9	9	0.06	0.15
	Pt 9	340.020.75010	0.05	G34	1684677 Ontario Ltd.	-	-	8	8	0.05	0.13
	Pt 9	340.020.75012	0.04	G33	1684677 Ontario Ltd.	-	-	6	6	0.04	0.10
	Pt 9	340.020.75014	0.04	G32	P. & D. Pileggi	-	-	6	6	0.04	0.10
	Pt 9	340.020.75016	0.04	G31	J. Rebryk	-	-	6	6	0.04	0.10
	Pt 9	340.020.75018	0.04	G30	J. & S. Morris	-	-	6	6	0.04	0.10
	Pt 9	340.020.75020	0.05	G29	C. & L. Gibbons	-	-	8	8	0.05	0.13
	Pt 9	340.020.75022	0.05	G27	A. & P. Aquilina	-	-	8	8	0.05	0.13
	Pt 9	340.020.75030	0.06	G12	C. Nantais	-	-	9	9	0.06	0.15
	Pt 9	340.020.75032	0.04	G13	J. & K. Coyle	-	-	6	6	0.04	0.10
	Pt 9	340.020.75034	0.04	G14	P. & C. Ryan	-	-	6	6	0.04	0.10
	Pt 9	340.020.75036	0.04	G15	B. & C. Chiasson	-	-	6	6	0.04	0.10
	Pt 9	340.020.75038	0.04	G16	T. & W. Palmer	-	-	6	6	0.04	0.10
	Pt 9	340.020.75040	0.04	G17	R. Welsh & S. Skuza-Welsh	-	-	6	6	0.04	0.10
	Pt 9	340.020.75042	0.04	G18	R. & K. Fuller	-	-	6	6	0.04	0.10
	Pt 9	340.020.75044	0.04	G19	R. & L. Gonyou	-	-	6	6	0.04	0.10
	Pt 9	340.020.75046	0.05	G20	R. & S. Matsson	-	-	8	8	0.05	0.13
	Pt 9	340.020.75048	0.04	G21	Estate of L. Martini	-	-	6	6	0.04	0.10
	Pt 9	340.020.75050	0.04	G9	G. & K. Morris	-	-	6	6	0.04	0.10
	Pt 9	340.020.75052	0.04	G8	J. Stokes & R. Pittman	-	-	6	6	0.04	0.10
	Pt 9	340.020.75054	0.04	G7	W. Wright & L. Sears	-	-	6	6	0.04	0.10
	Pt 9	340.020.75056	0.04	G6	R. Gauthier	-	-	6	6	0.04	0.10
	Pt 9	340.020.75058	0.04	G5	H. Curran	-	-	6	6	0.04	0.10
	Pt 9	340.020.75060	0.04	G4	R. Walters	-	-	6	6	0.04	0.10
	Pt 9	340.020.75062	0.04	G3	L. & C. Walsh	-	-	6	6	0.04	0.10
	Pt 8	340.020.75064	0.09	G36	Golfvest Communities	-	-	8	8	0.09	0.14
	Pt 9	340.020.75066	0.12	G28	Golfvest Communities	-	-	11	11	0.12	0.18
	Pt 9	340.020.75068	0.13	G2	Golfvest Communities	-	-	21	21	0.13	0.33
	Pt 9	340.020.75072	0.03	G1-1	S. & D. McKeown	-	-	4	4	0.03	0.08
	Pt 9	340.020.75074	0.03	G1-2	L. & T. Muhlig	-	-	4	4	0.03	0.08
	Pt 9	340.020.75076	0.03	G1-3	A. & L. Boychuk	-	-	4	4	0.03	0.08
	Pt 10	340.020.17500	0.11	E1	Huron is Home	-	-	34	34	0.11	0.22
	Pt 10	340.020.17600	1.45	C2	E. Burnley	-	3,270	792	4,062	1.45	2.18
	Pt 10	340.020.17602	0.39	C1	D. Burnley	-	-	90	90	0.39	0.59

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 10	340.020.17610	0.16	E2	L. Emmerson & L. Spurdza	-	-	49	49	0.16	0.32
	Pt 10	340.020.17800	0.06	E3	2279993 Ontario Inc.	-	-	52	52	0.06	0.15
	Pt 10	340.020.17900	0.05	E4	1838148 Ontario Inc.	-	-	46	46	0.05	0.13
	Pt 10	340.020.18000	0.08	E10	R. & K. Allen	-	-	55	55	0.08	0.16
	Pt 10	340.020.18100	0.11	E9	S. Palumbo	-	-	88	88	0.11	0.28
	Pt 10	340.020.18101	0.07	E8	W. Lapointe	-	-	22	22	0.07	0.14
	Pt 10	340.020.18200	0.07	E16	S. Kirby	-	-	56	56	0.07	0.18
	Pt 10	340.020.18300	0.05	E6	E. Smith	-	-	21	21	0.05	0.14
	Pt 10	340.020.18500	0.11	E7	E. Smith	-	-	34	34	0.11	0.22
	Pt 10	340.020.18600	0.08	E12	D. Brillinger	-	-	32	32	0.08	0.21
	Pt 10	340.020.18700	0.13	E17	M. Radychewsky	-	-	39	39	0.13	0.26
	Pt 10	340.020.18705	0.09	E13	K. & D. Bass	-	-	35	35	0.09	0.23
	Pt 10	340.020.18707	0.09	E14	M. & A. Henry	-	-	35	35	0.09	0.23
	Pt 10	340.020.18709	0.07	E15	M. Bryce	-	-	56	56	0.07	0.18
	Pt 10	340.020.18800	0.20	E18	S. Taylor & H. Hanson	-	-	61	61	0.20	0.40
	Pt 10	340.020.18900	0.05	E19	R. & H. Nestor	-	-	19	19	0.05	0.13
	Pt 10	340.020.19000	0.07	E20	M. Veniot	-	-	46	46	0.07	0.18
	Pt 10	340.020.19100	0.13	E28	M. Veniot	-	-	68	68	0.13	0.26
	Pt 10	340.020.19200	0.22	E33	J. Charrington	-	-	117	117	0.22	0.44
	Pt 10	340.020.19300	0.09	E40	2276513 Ontario Inc.	-	-	61	61	0.09	0.23
	Pt 10	340.020.19301	0.09	E41	2276513 Ontario Inc.	-	-	60	60	0.09	0.23
	Pt 10	340.020.19302	0.09	E48	2276513 Ontario Inc.	-	-	59	59	0.09	0.23
	Pt 10	340.020.19303	0.09	E49	2276513 Ontario Inc.	-	-	57	57	0.09	0.23
	Pt 10	340.020.19304	0.53	E51	R. & L. Dayman	-	-	256	256	0.53	1.06
	Pt 10	340.020.19305	0.09	E53	R. Dayman & M. Kelly	-	638	52	690	0.09	0.23
	Pt 10	340.020.19306	0.09	E54	R. Dayman & M. Kelly	-	640	51	691	0.09	0.23
	Pt 10	340.020.19307	0.09	E55	R. Dayman & M. Kelly	-	-	37	37	0.09	0.18
	Pt 10	340.020.19400	0.86	E42	Southside Construction Management Limited	-	486	448	934	0.86	1.72
	Pt 10	340.020.19400	0.95	E43	Southside Construction Management Limited	-	486	595	1,081	0.95	2.37
	Pt 10	340.020.19400	0.49	E56	Southside Construction Management Limited	-	-	241	241	0.49	0.98
	Pt 10	340.020.19402	0.14	E34	J. Bass & B. Mathany	-	486	79	565	0.14	0.28
	Pt 10	340.020.19500	0.08	E29	B. Huff	-	-	57	57	0.08	0.20
	Pt 10	340.020.19501	0.08	E22	R. Blain	-	-	62	62	0.08	0.20
	Pt 10	340.020.19502	0.08	E21	R. Blain	-	-	64	64	0.08	0.20
	Pt 10	340.020.19503	0.17	E23	L. Winch	-	638	104	742	0.17	0.34
	Pt 10	340.020.19505	0.08	E30	L. Winch	-	630	58	688	0.08	0.20
	Pt 10	340.020.19701	0.05	E24	2160512 Ontario Inc.	-	-	37	37	0.05	0.13
	Pt 10	340.020.19702	0.08	E25	2160512 Ontario Inc.	-	-	57	57	0.08	0.20
	Pt 10	340.020.19703	0.08	E26	L. Winch	-	-	56	56	0.08	0.20
	Pt 10	340.020.19704	0.08	E31	D. Brown	-	-	53	53	0.08	0.20
	Pt 10	340.020.19705	0.09	E35	Southside Construction Management Limited	-	-	65	65	0.09	0.23
	Pt 10	340.020.19706	0.09	E36	L. Chumko	-	-	62	62	0.09	0.23
	Pt 10	340.020.19707	0.09	E37	Southside Construction Management Limited	-	-	61	61	0.09	0.23
	Pt 10	340.020.19800	0.09	E44	Southside Construction Management Limited	-	-	61	61	0.09	0.23
	Pt 10	340.020.19801	0.09	E45	Southside Construction Management Limited	-	-	61	61	0.09	0.23
	Pt 10	340.020.19802	2.80	E46	T. & A. Nicholl	-	-	1,503	1,503	2.80	5.60
	Pt 10	340.020.20000	0.35	E5	W. & M. O'Grady	-	1,272	245	1,517	0.35	0.70

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 10	340.020.20100	0.28	E11	R. Boersma	-	935	181	1,116	0.28	0.56
	Pt 10	340.020.20200	0.21	E27	A. & T. McKay	-	-	64	64	0.21	0.42
	Pt 10	340.020.20300	0.28	E32	Y. & S. Holbrook	-	-	85	85	0.28	0.56
	Pt 10	340.020.20400	0.26	E39	T. & F. Watson	-	-	100	100	0.26	0.65
	Pt 10	340.020.20500	0.28	E38	T. MacNeil & S. Hall & D. Hall	-	-	85	85	0.28	0.56
	Pt 10	340.020.20600	0.09	E47	V. & L. Kennedy	-	-	35	35	0.09	0.23
	Pt 10	340.020.20601	0.24	E50	L. Sutton	-	-	116	116	0.24	0.48
	Pt 10	340.020.20700	0.53	E52	W. & T. Somerville	-	994	142	1,136	0.53	0.66
	Pt 10	340.020.20701	0.17	E57	J. Aikin	-	636	68	704	0.17	0.34
	Pt 10	340.020.20702	0.18	E58	L. & T. Gower	-	636	71	707	0.18	0.36
	Pt 10	340.020.20704	0.26	E60	L. Ellis & A. Parr	-	672	80	752	0.26	0.52
	Pt 10	340.020.20703	0.18	E59	W. Krawczyk & N. Elliott	-	672	69	741	0.18	0.36
	Pt 10	340.020.20706	1.67	E61	Camlachie United Church	-	2,725	543	3,268	1.67	3.34
	Pt 10	340.020.20800	0.03	A6	B. Kuczma	-	-	11	11	0.03	0.08
	Pt 10	340.020.20900	1.01	A5	G. & S. Dunham	-	-	516	516	1.01	1.52
	Pt 10	340.020.21000	0.26	A4	M. Woodall	-	-	141	141	0.26	0.52
	Pt 10	340.020.21100	0.11	A2	C. & J. Robinson	-	-	91	91	0.11	0.22
	Pt 10	340.020.21101	0.40	A1	R. & S. Sipkens	-	-	375	375	0.40	0.80
	Pt 10	340.020.21102	2.27	A3	B. & M. Tough	-	-	1,126	1,126	2.27	2.27
	Pt 10	340.020.21200	0.13	A7	T. & M. Wales	-	-	39	39	0.13	0.26
	Pt 10	340.020.21300	0.05	A11	W. DeGraaf	-	-	19	19	0.05	0.13
	Pt 10	340.020.21310	0.05	A10	J. Glynsinski	-	-	19	19	0.05	0.13
	Pt 10	340.020.21320	0.05	A9	K. Cole	-	-	19	19	0.05	0.13
	Pt 10	340.020.21330	0.05	A8	T. Kember	-	-	19	19	0.05	0.13
	Pt 10	340.020.21400	0.06	A12	L. & J. & E. Van Reenen	-	-	22	22	0.06	0.15
	Pt 10	340.020.21402	0.08	A13	J. Jackson	-	-	29	29	0.08	0.20
	Pt 10	340.020.21500	0.07	A14	1838129 Ontario Ltd.	-	-	27	27	0.07	0.18
	Pt 10	340.020.21600	0.15	A15	1838129 Ontario Ltd.	-	-	121	121	0.15	0.30

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
9	Pt 10	340.020.21800	0.15	A16	C. Cooper	-	-	121	121	0.15	0.30
	Pt 10	340.020.21900	0.42	A17	J. & J. Andrew	-	-	366	366	0.42	0.84
	Pt 10	340.020.21905	0.46	A18	Brooktree Homes Inc.	-	-	428	428	0.46	0.92
	Pt 10	340.020.22000	0.40	A19	E. Dochstader	-	-	523	523	0.40	1.00
	Pt 10	340.020.22100	0.21	C3	M. & K. Prinsen	-	-	128	128	0.21	0.42
	Pt 10	340.020.22500	0.12	C4	R. Burd	-	-	96	96	0.12	0.24
	Pt 10	340.020.22600	0.84	C5	M. Wyrzykowski	-	2,907	679	3,586	0.84	1.68
	Pt 10	340.020.22700	0.14	C7	A. Wells	-	2,618	128	2,746	0.14	0.28
	Pt 10	340.020.22710	1.08	C6	T. Dewsbury	-	2,954	671	3,625	1.08	1.62
	Pt 10	340.020.22800	0.27	C9	L. Munro	-	-	239	239	0.27	0.51
	Pt 10	340.020.22801	0.63	C8	P. & A. Kerrigan	-	628	335	963	0.63	1.10
	Pt 10	340.020.22804	0.15	C10	A. & T. George	-	-	139	139	0.15	0.30
	Pt 10	340.020.22900	0.17	C11	G. & D. Kremer	-	-	155	155	0.17	0.34
	Pt 10	340.020.22901	0.17	C12	J. & K. Kirby	-	-	153	153	0.17	0.34
	Pt 10	340.020.22905	4.53	C13	J. Kirby	-	-	1,858	1,858	4.53	4.53
	Pt 10	340.020.22906	0.19	C14	J. & B. Warren	-	-	170	170	0.19	0.38
	Pt 10	340.020.23101	0.26	A20	Plympton-Wyoming Town	-	-	203	203	0.26	0.39
	Pt 11	340.020.23201	0.52	C15	A. & J. Kreeft	-	-	279	279	0.52	1.04
	pt 11	340.020.23601	2.39	A21	J. & C. McRae	-	-	642	642	2.39	2.39
	Pt 12	340.020.24100	1.32	A22	S. Hornung	-	-	352	352	1.32	1.32
9/10 10	Pt 8	340.020.12500	29.81	10-08	2869936 Ontario Inc.	10,970	336	714	12,020	29.81	23.85
	Pt 9	340.020.26101	0.38	H2	G. Robinson	-	-	28	28	0.38	0.95
	Pt 9	340.020.26100	0.39	H1	J. Hammond	-	-	29	29	0.39	0.98
	Pt 9	340.020.26201	0.03	H14	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26203	0.50	H20	Sweet Home Shores Inc.	-	-	45	45	0.50	1.50
	Pt 9	340.020.26219	0.04	H4	Sweet Home Shores Inc.	-	-	3	3	0.04	0.10
	Pt 9	340.020.26220	0.03	H5	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26221	0.03	H6	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26222	0.03	H7	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26223	0.04	H8	Sweet Home Shores Inc.	-	-	3	3	0.04	0.10
	Pt 9	340.020.26224	0.04	H9	Sweet Home Shores Inc.	-	-	3	3	0.04	0.10
	Pt 9	340.020.26225	0.03	H10	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26226	0.03	H11	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26227	0.03	H12	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26228	0.03	H13	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26229	0.04	H15	Sweet Home Shores Inc.	-	-	3	3	0.04	0.10
	Pt 9	340.020.26230	0.03	H16	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26231	0.03	H17	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26232	0.03	H18	Sweet Home Shores Inc.	-	-	2	2	0.03	0.08
	Pt 9	340.020.26233	0.04	H19	Sweet Home Shores Inc.	-	-	3	3	0.04	0.10
Pt 9	340.020.26234	0.03	H3	2054908 Ontario Inc.	-	-	2	2	0.03	0.08	
						20,905	41,254	27,965	90,124		
Total Special Benefit							20,905				
Total Benefit							41,254				
Total Outlet							27,965				
Total - Non-Agricultural Lands						\$	90,124				

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Special Benefit (\$)	Benefit (\$)	Outlet (\$)	Total (\$)	Aff. Hect.	Eq. Ha
<u>Roads</u>											
	Augusta Street		0.39		Town of Plympton-Wyoming	-	5,766	398	6,164	0.39	1.56
	Arie Court		1.42		Town of Plympton-Wyoming	-	-	874	874	1.42	5.68
	Camlachie Road		5.25		Town of Plympton-Wyoming	-	5,131	9,091	14,222	5.25	21.00
	Egremont Road		5.99		Town of Plympton-Wyoming	-	4,563	5,372	9,935	5.99	23.96
	Hyslop Line		3.73		Town of Plympton-Wyoming	-	1,018	5,242	6,260	3.73	11.19
	Lakeshore Road		5.47		County of Lambton	-	19,200	2,469	21,669	5.47	21.88
	McFarlane Road		4.86		Town of Plympton-Wyoming	-	-	8,587	8,587	4.86	14.58
	Mutual Street		0.29		Town of Plympton-Wyoming	-	-	83	83	0.29	0.76
	O'Banwell Street		0.19		Town of Plympton-Wyoming	-	-	71	71	0.19	0.48
	Park Street		0.31		Town of Plympton-Wyoming	-	4,456	309	4,765	0.31	1.24
	St. Andrews Circle		0.21		Town of Plympton-Wyoming	-	-	54	54	0.21	0.84
	Turnberry Lane		0.05		Town of Plympton-Wyoming	-	-	12	12	0.05	0.20
	Warehouse Street		0.20		Town of Plympton-Wyoming	-	935	270	1,205	0.20	0.80
	Saleem Court		0.35		Town of Plympton-Wyoming	-	-	42	42	0.35	1.40
	Sybil Court		0.20		Town of Plympton-Wyoming	-	-	24	24	0.20	0.80
	Alley Lot 10, Concession 9 (Camlachie - East of Augusta St.)		0.10		Town of Plympton-Wyoming	-	12,763	9	12,772	0.10	0.05
	Alley Lot 10, Concession 9 (Camlachie - West of Augusta St.)		0.10		Town of Plympton-Wyoming	-	887	7	894	0.10	0.05
	Alley Lot 10, Concession 9 (Camlachie - North of Park St.)		0.05		Town of Plympton-Wyoming	-	-	24	24	0.05	0.03
	Alley Lot 10, Concession 9 (Camlachie - South of Park St.)		0.03		Town of Plympton-Wyoming	-	-	1	1	0.03	0.02
	Unopened Road Allowance Lot 10, Concession 9 (Camlachie - East of Augusta St.)		0.63		Town of Plympton-Wyoming	-	-	620	620	0.63	2.52
						-	54,719	33,559	88,278		
						Total Special Benefit	-				
						Total Benefit	54,719				
						Total Outlet	33,559				
						Total - Roads	\$ 88,278				
						Total Special Benefit	22,655				
						Total Benefit	125,258				
						Total Outlet	330,381				
						Total Assessment	\$ 478,294				

McFarlane Drain (2026)
Town of Plympton-Wyoming
August 6, 2026

SCHEDULE OF MAINTENANCE - SECTION 1

For maintaining the McFarlane Drain (2024) channel between Station 0+000 and the East limit of the Lakeshore Road road allowance (Station 1+607).
Culverts are to be maintained in accordance with the report. The Schedule of Maintenance has been illustrated as a percentage of the future drain maintenance cost.

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Agricultural Lands</u>									
7	Pt 11	340.020.06700	16.90	7-08	1886939 Ontario Ltd.	-	1.53	1.53	16.90
	Pt 11	340.020.06800	3.74	7-07	R. Smith	-	0.84	0.84	3.33
	pt 11	340.020.06900	4.15	7-06	J. & J. Verhoeven	-	0.97	0.97	4.15
	Pt 12	340.020.07000	15.00	7-05	R. Nauta	-	1.84	1.84	15.00
	Pt 12	340.020.07100	24.89	7-04	R. & A. Nauta	-	2.25	2.25	24.89
	Pt 13	340.020.07200	23.68	7-01	Vanderlinde Family Farms Ltd.	-	2.19	2.19	23.68
	Pt 13	340.020.07300	7.37	7-02	Vanderlinde Family Farms Ltd.	-	0.68	0.68	7.37
8	Pt 14	340.020.07305	7.43	7-03	W. & H. Vanderlinde	-	0.57	0.57	6.11
	Pt 10	340.020.09800	40.47	8-08	H. & A. Wouters Farms Ltd.	-	2.56	2.56	27.69
	Pt 10	340.020.09900	40.47	8-07	B. Wouters	-	2.68	2.68	29.00
	pt 11	340.020.10000	38.35	8-05	R. & R. Nauta	-	3.55	3.55	38.35
	pt 11	340.020.10100	42.00	8-04	H. & A. Wouters Farms Ltd.	-	3.89	3.89	42.00
	Pt 12	340.020.10200	43.09	8-03	G. & J. Edwards	-	3.80	3.80	41.04
	Pt 12	340.020.10300	21.75	8-02	G. & J. Edwards	-	1.94	1.94	20.98
9	Pt 12	340.020.10400	21.73	8-01	King 5 Farms Inc.	-	2.01	2.01	21.73
	Pt 9	340.020.13500	13.03	9-10	1062010 Ontario Ltd.	-	1.06	1.06	11.45
	Pt 10	340.020.20710	24.56	9-09	1062010 Ontario Ltd.	-	2.27	2.27	24.56
	Pt 10	340.020.23100	26.74	9-08	R. & R. Nauta	-	2.48	2.48	26.74
	pt 11	340.020.23200	18.85	9-07	1062010 Ontario Ltd.	-	1.74	1.74	18.85
	pt 11	340.020.23300	11.47	9-06	F. & J. Clement	-	1.06	1.06	11.47
	pt 11	340.020.23500	33.12	9-05	P. & E. Policelli	-	3.07	3.07	33.12
9/10	pt 11	340.020.23600	5.98	9-04	C. Donkers	-	0.55	0.55	5.98
	Pt 12	340.020.23700	4.98	9-02	G. Edwards	-	0.35	0.35	3.74
	Pt 12	340.020.23900	1.13	9-01	G. & J. Edwards	-	0.11	0.11	1.13
	Pt 12	340.020.23902	21.27	9-03	C. Edwards	-	1.97	1.97	21.27
	Pt 10 & 11	340.020.26605	37.60	10-02	Town of Plympton-Wyoming	-	3.38	3.38	36.56
	PT 8 & 9	340.020.25600	27.28	10-07	3771 Queen Street Inc.	-	0.54	0.54	25.10
	Pt 9	340.020.25800	3.97	10-06	Saul Farms Ltd.	-	0.04	0.04	3.97
10	Pt 9	340.020.26000	28.74	10-04	A. Nauta	-	1.54	1.54	28.74
	Pt 9	340.020.26300	6.52	10-05	A. Nauta & M. Kleinsmith	-	0.07	0.07	6.27
	Pt 10	340.020.26400	47.93	10-03	TEK Holdings Limited	-	3.98	3.98	44.83
	Pt 11	340.020.26701	4.40	10-01	Fergusons' Scattered Acres	-	0.41	0.41	4.40

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Non - Agricultural Lands</u>									
8	Pt 9	340.020.14100	8.81	9-11	2869936 Ontario Inc.	4.02	0.44	4.46	7.05
	Pt 9	340.020.14114	4.35	F-7	Sawmill Creek Holdings Limited	2.01	0.72	2.73	8.70
	Pt 11	340.020.10003	0.84	8-06	R. Winter	-	0.16	0.16	1.68
9	Pt 8	340.020.12520	0.28	I-1	M. Amin	-	0.03	0.03	0.56
	Pt 8	340.020.12545	0.09	I-5	1000158255 Ontario Inc.	-	0.01	0.01	0.18
	Pt 8	340.020.12546	0.08	I-6	1000158255 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12547	0.08	I-7	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12548	0.08	I-8	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12549	0.08	I-9	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12550	0.08	I-10	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12551	0.08	I-11	1000158255 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12552	0.08	I-12	1000158255 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12553	0.08	I-13	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12554	0.23	I-14	2200911 Ontario Inc.	-	0.02	0.02	0.46
	Pt 8	340.020.12555	0.16	I-15	2200911 Ontario Inc.	-	0.02	0.02	0.32
	Pt 8	340.020.12556	0.09	I-16	2200911 Ontario Inc.	-	0.01	0.01	0.18
	Pt 8	340.020.12557	0.12	I-17	2200911 Ontario Inc.	-	0.01	0.01	0.24
	Pt 8	340.020.12558	0.12	I-18	1001348081 Ontario Inc.	-	0.01	0.01	0.24
	Pt 8	340.020.12559	0.10	I-19	1001348081 Ontario Inc.	-	0.01	0.01	0.20
	Pt 8	340.020.12560	0.10	I-20	2200911 Ontario Inc.	-	0.01	0.01	0.20
	Pt 8	340.020.12561	0.08	I-21	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12562	0.08	I-22	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12563	0.10	I-23	2200911 Ontario Inc.	-	0.01	0.01	0.20
	Pt 8	340.020.12564	0.14	I-24	2200911 Ontario Inc.	-	0.01	0.01	0.28
	Pt 8	340.020.12569	0.07	I-29	2200911 Ontario Inc.	-	0.01	0.01	0.14
	Pt 8	340.020.12570	0.07	I-30	RAF Engineering Group Inc.	-	0.01	0.01	0.14
	Pt 8	340.020.12571	0.08	I-31	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 8	340.020.12572	0.09	I-32	2200911 Ontario Inc.	-	0.01	0.01	0.18
	Pt 8	340.020.12573	0.02	I-3	Town of Plympton-Wyoming	-	0.002	0.002	0.04
	Pt 8	340.020.12574	0.03	I-4	Town of Plympton-Wyoming	-	0.01	0.01	0.06
	Pt 8	340.020.75028	0.05	G24	R. Mason & T. Hall	-	0.01	0.01	0.13
	Pt 8 & 9	340.020.12532	0.72	I-2	1684677 Ontario Ltd.	-	0.09	0.09	1.44
	Pt 8 & 9	340.020.75024	0.04	G26	P. Small	-	0.004	0.004	0.10
	Pt 8 & 9	340.020.75026	0.05	G25	M. & D. Muller	-	0.01	0.01	0.13
	Pt 8&9	340.020.12565	0.09	I-25	1000158255 Ontario Inc.	-	0.01	0.01	0.18
	Pt 8&9	340.020.12568	0.08	I-28	2200911 Ontario Inc.	-	0.01	0.01	0.16
	Pt 9	340.020.12528	0.13	J-2	G. & M. Shephard	-	0.02	0.02	0.26
	Pt 9	340.020.12566	0.14	I-26	2200911 Ontario Inc.	-	0.01	0.01	0.28
	Pt 9	340.020.12567	0.17	I-27	2200911 Ontario Inc.	-	0.02	0.02	0.34

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 9	340.020.14000	1.99	J-34	1062010 Ontario Inc.	-	0.27	0.27	3.98
	Pt 9	340.020.14001	0.10	J-24	1062010 Ontario Inc.	-	0.02	0.02	0.20
	Pt 9	340.020.14002	0.09	J-25	1062010 Ontario Inc.	-	0.01	0.01	0.18
	Pt 9	340.020.14003	0.09	J-26	1062010 Ontario Inc.	-	0.01	0.01	0.18
	Pt 9	340.020.14004	0.08	J-27	1062010 Ontario Inc.	-	0.01	0.01	0.16
	Pt 9	340.020.14005	0.08	J-28	1062010 Ontario Inc.	-	0.01	0.01	0.16
	Pt 9	340.020.14101	2.23	J-9	S. Kingston	-	0.31	0.31	4.46
	Pt 9	340.020.14102	0.18	J-10	J. & D. Jones	-	0.02	0.02	0.36
	Pt 9	340.020.14103	0.14	J-11	D. & S. Stevens	-	0.02	0.02	0.28
	Pt 9	340.020.14104	0.14	J-12	S. & N. Sapeta	-	0.02	0.02	0.28
	Pt 9	340.020.14105	0.14	J-13	T. & K. Nolan	-	0.02	0.02	0.28
	Pt 9	340.020.14107	0.29	D8	M. Sanders	-	0.05	0.05	0.58
	Pt 9	340.020.14110	0.13	J-3	2869936 Ontario Inc.	-	0.02	0.02	0.26
	Pt 9	340.020.14112	0.28	J-4	1777660 Ontario Inc.	-	0.04	0.04	0.56
	Pt 9	340.020.14202	0.31	F2	R. & L. Dayman	0.12	0.05	0.17	0.62
	Pt 9	340.020.14203	0.43	F1	B. Beauregard	0.12	0.07	0.19	0.86
	Pt 9	340.020.14204	0.18	F3	M. Dayman	0.18	0.03	0.21	0.36
	Pt 9	340.020.14260	0.41	F6	G. & C. Platten	-	0.08	0.08	0.82
	Pt 9	340.020.14262	0.35	F5	S. Vansteenkiste	-	0.06	0.06	0.70
	Pt 9	340.020.14264	0.66	F4	W. & L. Needham	0.18	0.11	0.29	1.32
	Pt 9	340.020.14300	2.19	J-5	Town of Plympton-Wyoming (Arnold Minielly Park)	-	0.33	0.33	4.70
	Pt 9	340.020.14310	0.80	D-15	Town of Plympton-Wyoming (Camlachie Community Centre)	-	0.26	0.26	2.80
	Pt 9	340.020.14350	1.30	D14	Town of Plympton-Wyoming (Arnold Minielly Park)	-	0.12	0.12	1.30
	Pt 9	340.020.14400	0.30	B14	R. Cody & E. Baker	-	0.06	0.06	0.60
	Pt 9	340.020.14420	0.36	B17	Town of Plympton-Wyoming (Camlachie Cemetery)	-	0.07	0.07	0.72
	Pt 9	340.020.14499	0.12	B40	T. Wright	-	0.02	0.02	0.24
	Pt 9	340.020.14501	0.21	B55	S. Ganter	-	0.04	0.04	0.42
	Pt 9	340.020.14502	0.14	B42	L. Young	-	0.02	0.02	0.28
	Pt 9	340.020.14605	0.24	B56	T. Dobbin & K. Harris	-	0.04	0.04	0.48
	Pt 9	340.020.14700	0.30	J-33	K. Clime	-	0.04	0.04	0.60
	Pt 9	340.020.14800	0.41	J-32	S. McCormick	-	0.06	0.06	0.82
	Pt 9	340.020.14805	0.08	B38	J. & C. Beauregard	-	0.02	0.02	0.20
	Pt 9	340.020.14808	0.10	B37	A. & L. Bissonnette	-	0.02	0.02	0.20
	Pt 9	340.020.14811	0.08	B39	B. MacDougall	-	0.02	0.02	0.20
	Pt 9	340.020.14814	0.08	B41	L. Cloud	-	0.02	0.02	0.20
	Pt 9	340.020.14817	0.12	B54	G. & C. Simpson	-	0.02	0.02	0.24
	Pt 9	340.020.14820	0.06	B51	C. & C. Veinot	-	0.01	0.01	0.15
	Pt 9	340.020.14823	0.06	B50	M. Deciano	-	0.01	0.01	0.15
	Pt 9	340.020.14826	0.06	B49	D. & E. Downton	-	0.01	0.01	0.15
	Pt 9	340.020.14829	0.06	B48	C. Dougan	-	0.01	0.01	0.15
	Pt 9	340.020.14832	0.08	B32	J. Hull	-	0.02	0.02	0.20
	Pt 9	340.020.14835	0.08	B33	B. Charette & R. Lisabeth	-	0.02	0.02	0.20

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 9	340.020.14838	0.08	B34	L. & P. Kuipers	-	0.02	0.02	0.20
	Pt 9	340.020.14841	0.08	B35	L. & S. Capp	-	0.02	0.02	0.20
	Pt 9	340.020.14844	0.10	B36	S. Orrange	-	0.02	0.02	0.20
	Pt 9	340.020.14847	0.13	B52	Town of Plympton-Wyoming	-	0.02	0.02	0.26
	Pt 9	340.020.14850	0.07	B53	Town of Plympton-Wyoming	-	0.02	0.02	0.18
	Pt 9	340.020.14856	0.07	B16	S. & J. Manders	-	0.02	0.02	0.18
	Pt 9	340.020.14857	0.08	B15	L. & D. Nocholls	-	0.02	0.02	0.20
	Pt 9	340.020.14858	0.10	B13	D. & C Begg	-	0.02	0.02	0.20
	Pt 9	340.020.14859	0.05	B12	J. & E. McLean	-	0.01	0.01	0.13
	Pt 9	340.020.14860	0.06	B11	M. & A. Kelly	-	0.01	0.01	0.15
	Pt 9	340.020.14861	0.06	B10	J. & C. Whitelaw	-	0.01	0.01	0.15
	Pt 9	340.020.14862	0.06	B9	K. Barnett	-	0.01	0.01	0.15
	Pt 9	340.020.14863	0.06	B8	D. & M Johnson	-	0.01	0.01	0.15
	Pt 9	340.020.14864	0.06	B7	C. & M Nap	-	0.01	0.01	0.15
	Pt 9	340.020.14865	0.08	B24	J. Darnell & D. Farlow	-	0.02	0.02	0.20
	Pt 9	340.020.14866	0.08	B25	D. Vandenberg	-	0.02	0.02	0.20
	Pt 9	340.020.14867	0.08	B26	L. & S. Karn	-	0.02	0.02	0.20
	Pt 9	340.020.14868	0.08	B27	G. & D. Elliot	-	0.02	0.02	0.20
	Pt 9	340.020.14869	0.10	B28	W. & M. Nameth	-	0.02	0.02	0.20
	Pt 9	340.020.14870	0.06	B6	N. Hodgkin	-	0.01	0.01	0.15
	Pt 9	340.020.14871	0.06	B5	J. & M. Vanegas	-	0.01	0.01	0.15
	Pt 9	340.020.14872	0.06	B4	1528535 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.14873	0.06	B3	1528535 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.14874	0.15	B1	1528535 Ontario Ltd.	-	0.03	0.03	0.30
	Pt 9	340.020.14875	0.11	B2	1684677 Ontario Ltd.	-	0.02	0.02	0.22
	Pt 9	340.020.14876	0.09	B18	1528535 Ontario Ltd.	-	0.02	0.02	0.23
	Pt 9	340.020.14877	0.09	B19	B. & S. Phillips	-	0.02	0.02	0.23
	Pt 9	340.020.14878	0.13	B20	1528535 Ontario Ltd.	-	0.02	0.02	0.26
	Pt 9	340.020.14879	0.19	B43	1528535 Ontario Ltd.	-	0.04	0.04	0.38
	Pt 9	340.020.14880	0.06	B44	1528535 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.14881	0.06	B45	1528535 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.14882	0.06	B46	1528535 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.14883	0.06	B47	J. & M. Kucera	-	0.01	0.01	0.15
	Pt 9	340.020.14884	0.08	B31	D. & I. Barriault	-	0.02	0.02	0.20
	Pt 9	340.020.14885	0.07	B30	1528535 Ontario Ltd.	-	0.02	0.02	0.18
	Pt 9	340.020.14886	0.08	B29	1528535 Ontario Ltd.	-	0.02	0.02	0.20
	Pt 9	340.020.14887	0.08	B21	1528535 Ontario Ltd.	-	0.02	0.02	0.20
	Pt 9	340.020.14888	0.07	B22	J. Mamak & T. Moore	-	0.02	0.02	0.18
	Pt 9	340.020.14889	0.08	B23	R. & B. Hooper	-	0.02	0.02	0.20
	Pt 9	340.020.14900	0.37	J-31	G. Kerrigan	-	0.05	0.05	0.74
	Pt 9	340.020.15000	0.48	J-30	W. & E. Nowosad	-	0.07	0.07	0.96
	Pt 9	340.020.15100	0.40	J-29	M. Schoenmakers & K. Johnson	-	0.06	0.06	0.80

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 9	340.020.15200	0.33	J-14	V. Symington	-	0.05	0.05	0.66
	Pt 9	340.020.15201	0.26	J-6	Persona Communications Inc.	-	0.03	0.03	0.52
	Pt 9	340.020.15300	0.11	J-15	M. Tourigny	-	0.02	0.02	0.22
	Pt 9	340.020.15400	0.35	J-7	S. Maw	-	0.05	0.05	0.70
	Pt 9	340.020.15500	0.39	J-8	C. Beauchamp	-	0.05	0.05	0.78
	Pt 9	340.020.15600	0.16	J-16	J. Spencer	-	0.02	0.02	0.32
	Pt 9	340.020.15700	0.35	J-17	B. Urlacher	-	0.05	0.05	0.70
	Pt 9	340.020.15800	0.15	J-18	M. & L. Goodacre	-	0.02	0.02	0.30
	Pt 9	340.020.15900	0.01	J-19	Town of Plympton-Wyoming	-	0.02	0.02	0.02
	Pt 9	340.020.16000	0.15	D3	Canada Post Corporation	-	0.01	0.01	0.45
	Pt 9	340.020.16101	0.12	D5	D. & H. Mackie	-	0.02	0.02	0.24
	Pt 9	340.020.16200	0.20	D6	Town of Plympton-Wyoming (Camlachie Fire Hall)	-	0.07	0.07	0.80
	Pt 9	340.020.16300	0.20	D4	D. Sybenga & E. Regan	-	0.04	0.04	0.40
	Pt 9	340.020.16400	0.10	D1	J. Lippiatt	-	0.02	0.02	0.20
	Pt 9	340.020.16401	0.12	D2	P. Delanghe	-	0.02	0.02	0.24
	Pt 9	340.020.16500	0.10	J-23	T. Doohan & S. Gardiner	-	0.02	0.02	0.20
	Pt 9	340.020.16502	0.09	J-22	S. & B. Peterson	-	0.01	0.01	0.18
	Pt 9	340.020.16600	0.23	J-21	C. Dopson	-	0.03	0.03	0.46
	Pt 9	340.020.16700	0.14	J-20	B. Donkers & M. Edwards & C. Donkers	-	0.02	0.02	0.28
	Pt 9	340.020.16800	0.15	D7	J. Greenaway	-	0.03	0.03	0.30
	Pt 9	340.020.16900	0.23	D9	K. Moffatt & P. Williams	-	0.04	0.04	0.46
	Pt 9	340.020.17000	0.12	D10	B. Verwegen & A. Cooper	-	0.02	0.02	0.24
	Pt 9	340.020.17100	0.21	D11	S. Kabir	-	0.04	0.04	0.42
	Pt 9	340.020.17101	0.20	D12	K. Barnes	-	0.04	0.04	0.40
	Pt 9	340.020.17300	0.41	D13	Town of Plympton-Wyoming (Camlachie Library)	-	0.08	0.08	0.82
	Pt 9	340.020.75000	0.04	G10	C. Hennessy & P. Arts	-	0.004	0.004	0.10
	Pt 9	340.020.75002	0.04	G11	G. & I. Adamski	-	0.004	0.004	0.10
	Pt 9	340.020.75004	0.04	G22	1684677 Ontario Ltd.	-	0.004	0.004	0.10
	Pt 9	340.020.75006	0.05	G23	1684677 Ontario Ltd.	-	0.01	0.01	0.13
	Pt 9	340.020.75008	0.06	G35	1684677 Ontario Ltd.	-	0.01	0.01	0.15
	Pt 9	340.020.75010	0.05	G34	1684677 Ontario Ltd.	-	0.01	0.01	0.13
	Pt 9	340.020.75012	0.04	G33	1684677 Ontario Ltd.	-	0.004	0.004	0.10
	Pt 9	340.020.75014	0.04	G32	P. & D. Pileggi	-	0.004	0.004	0.10
	Pt 9	340.020.75016	0.04	G31	J. Rebryk	-	0.004	0.004	0.10
	Pt 9	340.020.75018	0.04	G30	J. & S. Morris	-	0.004	0.004	0.10
	Pt 9	340.020.75020	0.05	G29	C. & L. Gibbons	-	0.01	0.01	0.13
	Pt 9	340.020.75022	0.05	G27	A. & P. Aquilina	-	0.01	0.01	0.13
	Pt 9	340.020.75030	0.06	G12	C. Nantais	-	0.01	0.01	0.15
	Pt 9	340.020.75032	0.04	G13	J. & K. Coyle	-	0.004	0.004	0.10
	Pt 9	340.020.75034	0.04	G14	P. & C. Ryan	-	0.004	0.004	0.10
	Pt 9	340.020.75036	0.04	G15	B. & C. Chiasson	-	0.004	0.004	0.10
	Pt 9	340.020.75038	0.04	G16	T. & W. Palmer	-	0.004	0.004	0.10

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 9	340.020.75040	0.04	G17	R. Welsh & S. Skuza-Welsh	-	0.004	0.004	0.10
	Pt 9	340.020.75042	0.04	G18	R. & K. Fuller	-	0.004	0.004	0.10
	Pt 9	340.020.75044	0.04	G19	R. & L. Gonyou	-	0.004	0.004	0.10
	Pt 9	340.020.75046	0.05	G20	R. & S. Matsson	-	0.01	0.01	0.13
	Pt 9	340.020.75048	0.04	G21	Estate of L. Martini	-	0.004	0.004	0.10
	Pt 9	340.020.75050	0.04	G9	G. & K. Morris	-	0.004	0.004	0.10
	Pt 9	340.020.75052	0.04	G8	J. Stokes & R. Pittman	-	0.004	0.004	0.10
	Pt 9	340.020.75054	0.04	G7	W. Wright & L. Sears	-	0.004	0.004	0.10
	Pt 9	340.020.75056	0.04	G6	R. Gauthier	-	0.004	0.004	0.10
	Pt 9	340.020.75058	0.04	G5	H. Curran	-	0.004	0.004	0.10
	Pt 9	340.020.75060	0.04	G4	R. Walters	-	0.004	0.004	0.10
	Pt 9	340.020.75062	0.04	G3	L. & C. Walsh	-	0.004	0.004	0.10
	Pt 8	340.020.75064	0.09	G36	Golfvest Communities	-	0.01	0.01	0.14
	Pt 9	340.020.75066	0.12	G28	Golfvest Communities	-	0.01	0.01	0.18
	Pt 9	340.020.75068	0.13	G2	Golfvest Communities	-	0.02	0.02	0.33
	Pt 9	340.020.75072	0.03	G1-1	S. & D. McKeown	-	0.01	0.01	0.08
	Pt 9	340.020.75074	0.03	G1-2	L. & T. Muhlig	-	0.01	0.01	0.08
	Pt 9	340.020.75076	0.03	G1-3	A. & L. Boychuk	-	0.01	0.01	0.08
	Pt 10	340.020.17500	0.11	E1	Huron is Home	-	0.02	0.02	0.22
	Pt 10	340.020.17600	1.45	C2	E. Burnley	-	0.20	0.20	2.18
	Pt 10	340.020.17602	0.39	C1	D. Burnley	-	0.05	0.05	0.59
	Pt 10	340.020.17610	0.16	E2	L. Emmerson & L. Spurdza	-	0.03	0.03	0.32
	Pt 10	340.020.17800	0.06	E3	2279993 Ontario Inc.	-	0.01	0.01	0.15
	Pt 10	340.020.17900	0.05	E4	1838148 Ontario Inc.	-	0.01	0.01	0.13
	Pt 10	340.020.18000	0.08	E10	R. & K. Allen	-	0.01	0.01	0.16
	Pt 10	340.020.18100	0.11	E9	S. Palumbo	-	0.02	0.02	0.28
	Pt 10	340.020.18101	0.07	E8	W. Lapointe	-	0.01	0.01	0.14
	Pt 10	340.020.18200	0.07	E16	S. Kirby	-	0.02	0.02	0.18
	Pt 10	340.020.18300	0.05	E6	E. Smith	-	0.01	0.01	0.14
	Pt 10	340.020.18500	0.11	E7	E. Smith	-	0.02	0.02	0.22
	Pt 10	340.020.18600	0.08	E12	D. Brillinger	-	0.02	0.02	0.21
	Pt 10	340.020.18700	0.13	E17	M. Radychewsky	-	0.02	0.02	0.26
	Pt 10	340.020.18705	0.09	E13	K. & D. Bass	-	0.02	0.02	0.23
	Pt 10	340.020.18707	0.09	E14	M. & A. Henry	-	0.02	0.02	0.23
	Pt 10	340.020.18709	0.07	E15	M. Bryce	-	0.02	0.02	0.18
	Pt 10	340.020.18800	0.20	E18	S. Taylor & H. Hanson	-	0.04	0.04	0.40
	Pt 10	340.020.18900	0.05	E19	R. & H. Nestor	-	0.01	0.01	0.13
	Pt 10	340.020.19000	0.07	E20	M. Veniot	-	0.02	0.02	0.18
	Pt 10	340.020.19100	0.13	E28	M. Veniot	-	0.02	0.02	0.26
	Pt 10	340.020.19200	0.22	E33	J. Charrington	-	0.04	0.04	0.44
	Pt 10	340.020.19300	0.09	E40	2276513 Ontario Inc.	-	0.02	0.02	0.23
	Pt 10	340.020.19301	0.09	E41	2276513 Ontario Inc.	-	0.02	0.02	0.23

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 10	340.020.19302	0.09	E48	2276513 Ontario Inc.	-	0.02	0.02	0.23
	Pt 10	340.020.19303	0.09	E49	2276513 Ontario Inc.	-	0.02	0.02	0.23
	Pt 10	340.020.19304	0.53	E51	R. & L. Dayman	-	0.10	0.10	1.06
	Pt 10	340.020.19305	0.09	E53	R. Dayman & M. Kelly	-	0.02	0.02	0.23
	Pt 10	340.020.19306	0.09	E54	R. Dayman & M. Kelly	-	0.02	0.02	0.23
	Pt 10	340.020.19307	0.17	E55	R. Dayman & M. Kelly	-	0.02	0.02	0.34
	Pt 10	340.020.19400	0.86	E42	Southside Construction Management Limited	-	0.16	0.16	1.72
	Pt 10	340.020.19400	0.95	E43	Southside Construction Management Limited	-	0.22	0.22	2.37
	Pt 10	340.020.19400	0.49	E56	Southside Construction Management Limited	-	0.09	0.09	0.98
	Pt 10	340.020.19402	0.14	E34	J. Bass & B. Mathany	-	0.02	0.02	0.28
	Pt 10	340.020.19500	0.08	E29	B. Huff	-	0.02	0.02	0.20
	Pt 10	340.020.19501	0.08	E22	R. Blain	-	0.02	0.02	0.20
	Pt 10	340.020.19502	0.08	E21	R. Blain	-	0.02	0.02	0.20
	Pt 10	340.020.19503	0.17	E23	L. Winch	-	0.03	0.03	0.34
	Pt 10	340.020.19505	0.08	E30	L. Winch	-	0.02	0.02	0.20
	Pt 10	340.020.19701	0.05	E24	2160512 Ontario Inc.	-	0.01	0.01	0.13
	Pt 10	340.020.19702	0.08	E25	2160512 Ontario Inc.	-	0.02	0.02	0.20
	Pt 10	340.020.19703	0.08	E26	L. Winch	-	0.02	0.02	0.20
	Pt 10	340.020.19704	0.08	E31	D. Brown	-	0.02	0.02	0.20
	Pt 10	340.020.19705	0.09	E35	Southside Construction Management Limited	-	0.02	0.02	0.23
	Pt 10	340.020.19706	0.09	E36	L. Chumko	-	0.02	0.02	0.23
	Pt 10	340.020.19707	0.09	E37	Southside Construction Management Limited	-	0.02	0.02	0.23
	Pt 10	340.020.19800	0.09	E44	Southside Construction Management Limited	-	0.02	0.02	0.23
	Pt 10	340.020.19801	0.09	E45	Southside Construction Management Limited	-	0.02	0.02	0.23
	Pt 10	340.020.19802	2.80	E46	T. & A. Nicholl	-	0.52	0.52	5.60
	Pt 10	340.020.20000	0.35	E5	W. & M. O'Grady	-	0.06	0.06	0.70
	Pt 10	340.020.20100	0.28	E11	R. Boersma	-	0.05	0.05	0.56
	Pt 10	340.020.20200	0.21	E27	A. & T. McKay	-	0.04	0.04	0.42
	Pt 10	340.020.20300	0.28	E32	Y. & S. Holbrook	-	0.05	0.05	0.56
	Pt 10	340.020.20400	0.26	E39	T. & F. Watson	-	0.06	0.06	0.65
	Pt 10	340.020.20500	0.28	E38	T. MacNeil & S. Hall & D. Hall	-	0.05	0.05	0.56
	Pt 10	340.020.20600	0.09	E47	V. & L. Kennedy	-	0.02	0.02	0.23
	Pt 10	340.020.20601	0.24	E50	L. Sutton	-	0.04	0.04	0.48
	Pt 10	340.020.20700	0.09	E52	W. & T. Somerville	-	0.06	0.06	0.18
	Pt 10	340.020.20701	0.18	E57	J. Aikin	-	0.03	0.03	0.36
	Pt 10	340.020.20702	0.26	E58	L. & T. Gower	-	0.03	0.03	0.52
	Pt 10	340.020.20704	0.26	E60	L. Ellis & A. Parr	-	0.05	0.05	0.52
	Pt 10	340.020.20703	0.18	E59	W. Krawczyk & N. Elliott	-	0.03	0.03	0.36
	Pt 10	340.020.20706	1.67	E61	Camlachie United Church	-	0.31	0.31	3.34
	Pt 10	340.020.20800	0.03	A6	B. Kuczma	-	0.01	0.01	0.08
	Pt 10	340.020.20900	1.01	A5	G. & S. Dunham	-	0.14	0.14	1.52
	Pt 10	340.020.21000	0.26	A4	M. Woodall	-	0.05	0.05	0.52

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 10	340.020.21100	0.11	A2	C. & J. Robinson	-	0.02	0.02	0.22
	Pt 10	340.020.21101	0.40	A1	R. & S. Sipkens	-	0.07	0.07	0.80
	Pt 10	340.020.21102	2.27	A3	B. & M. Tough	-	0.21	0.21	2.27
	Pt 10	340.020.21200	0.13	A7	T. & M. Wales	-	0.02	0.02	0.26
	Pt 10	340.020.21300	0.05	A11	W. DeGraaf	-	0.01	0.01	0.13
	Pt 10	340.020.21310	0.05	A10	J. Glynsinski	-	0.01	0.01	0.13
	Pt 10	340.020.21320	0.05	A9	K. Cole	-	0.01	0.01	0.13
	Pt 10	340.020.21330	0.05	A8	T. Kember	-	0.01	0.01	0.13
	Pt 10	340.020.21400	0.06	A12	L. & J. & E. Van Reenen	-	0.01	0.01	0.15
	Pt 10	340.020.21402	0.08	A13	J. Jackson	-	0.02	0.02	0.20
	Pt 10	340.020.21500	0.07	A14	1838129 Ontario Ltd.	-	0.02	0.02	0.18
	Pt 10	340.020.21600	0.15	A15	1838129 Ontario Ltd.	-	0.03	0.03	0.30
	Pt 10	340.020.21800	0.15	A16	C. Cooper	-	0.03	0.03	0.30
	Pt 10	340.020.21900	0.42	A17	J. & J. Andrew	-	0.08	0.08	0.84
	Pt 10	340.020.21905	0.46	A18	Brooktree Homes Inc.	-	0.09	0.09	0.92
	Pt 10	340.020.22000	0.40	A19	E. Dochstader	-	0.09	0.09	1.00
	Pt 10	340.020.22100	0.21	C3	M. & K. Prinsen	-	0.04	0.04	0.42
	Pt 10	340.020.22500	0.12	C4	R. Burd	-	0.02	0.02	0.24
	Pt 10	340.020.22600	0.84	C5	M. Wyrzykowski	-	0.16	0.16	1.68
	Pt 10	340.020.22700	0.14	C7	A. Wells	-	0.02	0.02	0.28
	Pt 10	340.020.22710	1.08	C6	T. Dewsbury	-	0.15	0.15	1.62
	Pt 10	340.020.22800	0.27	C9	L. Munro	-	0.05	0.05	0.54
	Pt 10	340.020.22801	0.63	C8	P. & A. Kerrigan	-	0.10	0.10	1.10
	Pt 10	340.020.22804	0.15	C10	A. & T. George	-	0.03	0.03	0.30
	Pt 10	340.020.22900	0.17	C11	G. & D. Kremer	-	0.03	0.03	0.34
	Pt 10	340.020.22901	0.17	C12	J. & K. Kirby	-	0.03	0.03	0.34
	Pt 10	340.020.22905	4.53	C13	J. Kirby	-	0.42	0.42	4.53
	Pt 10	340.020.22906	0.19	C14	J. & B. Warren	-	0.04	0.04	0.38
	Pt 10	340.020.23101	0.26	A20	Plympton-Wyoming Town	-	0.04	0.04	0.39
	Pt 11	340.020.23201	0.52	C15	A. & J. Kreeft	-	0.10	0.10	1.04
	pt 11	340.020.23601	2.39	A21	J. & C. McRae	-	0.22	0.22	2.39
	Pt 12	340.020.24100	1.32	A22	S. Hornung	-	0.12	0.12	1.32
9/10	Pt 8	340.020.12500	29.81	10-08	2869936 Ontario Inc.	10.33	0.43	10.76	23.85
10	Pt 9	340.020.26101	0.38	H2	G. Robinson	-	0.01	0.01	0.95
	Pt 9	340.020.26100	0.39	H1	J. Hammond	-	0.01	0.01	0.98
	Pt 9	340.020.26201	0.03	H14	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26203	0.50	H20	Sweet Home Shores Inc.	-	0.02	0.02	1.50
	Pt 9	340.020.26219	0.04	H4	Sweet Home Shores Inc.	-	0.01	0.01	0.10
	Pt 9	340.020.26220	0.03	H5	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26221	0.03	H6	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26222	0.03	H7	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26223	0.04	H8	Sweet Home Shores Inc.	-	0.01	0.01	0.10

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
9	Pt 9	340.020.26224	0.04	H9	Sweet Home Shores Inc.	-	0.01	0.01	0.10
	Pt 9	340.020.26225	0.03	H10	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26226	0.03	H11	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26227	0.03	H12	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26228	0.03	H13	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26229	0.04	H15	Sweet Home Shores Inc.	-	0.01	0.01	0.10
	Pt 9	340.020.26230	0.03	H16	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26231	0.03	H17	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26232	0.03	H18	Sweet Home Shores Inc.	-	0.01	0.01	0.08
	Pt 9	340.020.26233	0.04	H19	Sweet Home Shores Inc.	-	0.01	0.01	0.10
	Pt 9	340.020.26234	0.03	H3	2054908 Ontario Inc.	-	0.01	0.01	0.08
<u>Roads</u>									
	Augusta Street		0.39		Town of Plympton-Wyoming	-	0.14	0.14	1.56
	Arie Court		1.42		Town of Plympton-Wyoming	-	0.52	0.52	5.68
	Camlachie Road		5.25		Town of Plympton-Wyoming	-	1.95	1.95	21.00
	Egremont Road		5.99		Town of Plympton-Wyoming	-	1.93	1.93	23.96
	Hyslop Line		3.73		Town of Plympton-Wyoming	-	1.04	1.04	11.19
	Lakeshore Road		5.47		County of Lambton	5.32	1.77	7.09	21.88
	McFarlane Road		4.86		Town of Plympton-Wyoming	-	1.35	1.35	14.58
	Mutual Street		0.29		Town of Plympton-Wyoming	-	0.06	0.06	0.76
	O'Banwell Street		0.19		Town of Plympton-Wyoming	-	0.04	0.04	0.48
	Park Street		0.31		Town of Plympton-Wyoming	-	0.11	0.11	1.24
	St. Andrews Circle		0.21		Town of Plympton-Wyoming	-	0.06	0.06	0.84
	Turnberry Lane		0.05		Town of Plympton-Wyoming	-	0.02	0.02	0.20
	Warehouse Street		0.20		Town of Plympton-Wyoming	-	0.07	0.07	0.80
	Saleem Court		0.35		Town of Plympton-Wyoming	-	0.07	0.07	1.40
	Sybil Court		0.20		Town of Plympton-Wyoming	-	0.04	0.04	0.80
	Alley Lot 10, Concession 9 (Camlachie - East of Augusta St.)		0.10		Town of Plympton-Wyoming	-	0.01	0.01	0.05
	Alley Lot 10, Concession 9 (Camlachie - West of Augusta St.)		0.10		Town of Plympton-Wyoming	-	0.01	0.01	0.05
	Alley Lot 10, Concession 9 (Camlachie - North of Park St.)		0.05		Town of Plympton-Wyoming	-	0.01	0.01	0.03
	Alley Lot 10, Concession 9 (Camlachie - South of Park St.)		0.03		Town of Plympton-Wyoming	-	0.01	0.01	0.02
	Unopened Road Allowance Lot 10, Concession 9 (Camlachie - East of Augusta St.)		0.63		Town of Plympton-Wyoming	-	0.23	0.23	2.52
Total Maintenance Assessment - Section 1						22.28%	77.72%	100.00%	

McFarlane Drain (2026)
Town of Plympton-Wyoming
August 6, 2026

SCHEDULE OF MAINTENANCE - SECTION 2

For maintaining the McFarlane Drain (2024) channel between the East limit of the Lakeshore Road road allowance (Station 1+607) and the South limit of the Egremont Road road allowance (Station 2+553). Culverts are to be maintained in accordance with the report. The Schedule of Maintenance has been illustrated as a percentage of the future drain maintenance cost.

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Agricultural Lands</u>									
7	Pt 11	340.020.06700	16.90	7-08	1886939 Ontario Ltd.	-	2.62	2.62	16.90
	Pt 11	340.020.06800	3.74	7-07	R. Smith	-	1.15	1.15	3.33
	pt 11	340.020.06900	4.15	7-06	J. & J. Verhoeven	-	1.35	1.35	4.15
	Pt 12	340.020.07000	15.00	7-05	R. Nauta	-	2.89	2.89	15.00
	Pt 12	340.020.07100	24.89	7-04	R. & A. Nauta	-	3.87	3.87	24.89
	Pt 13	340.020.07200	23.68	7-01	Vanderlinde Family Farms Ltd.	-	3.73	3.73	23.68
	Pt 13	340.020.07300	7.37	7-02	Vanderlinde Family Farms Ltd.	-	1.16	1.16	7.37
	Pt 14	340.020.07305	7.43	7-03	W. & H. Vanderlinde	-	0.96	0.96	6.11
8	Pt 10	340.020.09800	40.47	8-08	H. & A. Wouters Farms Ltd.	-	4.37	4.37	27.69
	Pt 10	340.020.09900	40.47	8-07	B. Wouters	-	4.58	4.58	29.00
	pt 11	340.020.10000	38.35	8-05	R. & R. Nauta	-	6.05	6.05	38.35
	pt 11	340.020.10100	42.00	8-04	H. & A. Wouters Farms Ltd.	-	4.97	4.97	42.00
	Pt 12	340.020.10200	43.09	8-03	G. & J. Edwards	-	4.99	4.99	41.04
	Pt 12	340.020.10300	21.75	8-02	G. & J. Edwards	-	1.13	1.13	20.98
	Pt 12	340.020.10400	21.73	8-01	King 5 Farms Inc.	-	1.17	1.17	21.73
	Pt 9	340.020.13500	13.03	9-10	1062010 Ontario Ltd.	-	1.55	1.55	11.45
9	Pt 10	340.020.20710	24.56	9-09	1062010 Ontario Ltd.	1.24	0.88	2.12	24.56
	Pt 10	340.020.23100	26.74	9-08	R. & R. Nauta	-	4.22	4.22	26.74
	pt 11	340.020.23200	18.85	9-07	1062010 Ontario Ltd.	-	1.02	1.02	18.85
	pt 11	340.020.23300	11.47	9-06	F. & J. Clement	-	1.81	1.81	11.47
	pt 11	340.020.23500	33.12	9-05	P. & E. Policelli	-	1.78	1.78	33.12
	pt 11	340.020.23600	5.98	9-04	C. Donkers	-	0.45	0.45	5.98
	Pt 12	340.020.23700	4.98	9-02	G. Edwards	-	0.20	0.20	3.74
	Pt 12	340.020.23900	1.13	9-01	G. & J. Edwards	-	0.06	0.06	1.13
	Pt 12	340.020.23902	21.27	9-03	C. Edwards	-	1.15	1.15	21.27
	Pt 10 & 11	340.020.26605	37.60	10-02	Town of Plympton-Wyoming	-	0.86	0.86	36.56
	Pt 10	340.020.26400	27.44	10-03	TEK Holdings Limited	-	0.52	0.52	27.44
	Pt 11	340.020.26701	4.40	10-01	Fergusons' Scattered Acres	-	0.08	0.08	4.40

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Non - Agricultural Lands</u>									
8	Pt 11	340.020.10003	0.84	8-06	R. Winter	-	0.27	0.27	1.68
9	Pt 9	340.020.14400	0.30	B14	R. Cody & E. Baker	-	0.07	0.07	0.60
	Pt 10	340.020.17600	1.45	C2	E. Burnley	1.24	0.22	1.46	2.18
	Pt 10	340.020.17800	0.06	E3	2279993 Ontario Inc.	-	0.01	0.01	0.15
	Pt 10	340.020.17900	0.05	E4	1838148 Ontario Inc.	-	0.01	0.01	0.13
	Pt 10	340.020.18000	0.08	E10	R. & K. Allen	-	0.01	0.01	0.16
	Pt 10	340.020.18100	0.11	E9	S. Palumbo	-	0.02	0.02	0.28
	Pt 10	340.020.18200	0.07	E16	S. Kirby	-	0.01	0.01	0.18
	Pt 10	340.020.18709	0.07	E15	M. Bryce	-	0.01	0.01	0.18
	Pt 10	340.020.19000	0.07	E20	M. Veniot	-	0.01	0.01	0.18
	Pt 10	340.020.19100	0.13	E28	M. Veniot	-	0.01	0.01	0.26
	Pt 10	340.020.19200	0.22	E33	J. Charrington	-	0.02	0.02	0.44
	Pt 10	340.020.19300	0.09	E40	2276513 Ontario Inc.	-	0.01	0.01	0.23
	Pt 10	340.020.19301	0.09	E41	2276513 Ontario Inc.	-	0.01	0.01	0.23
	Pt 10	340.020.19302	0.09	E48	2276513 Ontario Inc.	-	0.01	0.01	0.23
	Pt 10	340.020.19303	0.09	E49	2276513 Ontario Inc.	-	0.01	0.01	0.23
	Pt 10	340.020.19304	0.53	E51	R. & L. Dayman	-	0.04	0.04	1.06
	Pt 10	340.020.19305	0.09	E53	R. Dayman & M. Kelly	0.31	0.01	0.32	0.23
	Pt 10	340.020.19306	0.09	E54	R. Dayman & M. Kelly	0.31	0.01	0.32	0.23
	Pt 10	340.020.19307	0.17	E55	R. Dayman & M. Kelly	-	0.01	0.01	0.34
	Pt 10	340.020.19400	0.86	E42	Southside Construction Management Limited	1.24	0.09	1.33	1.72
	Pt 10	340.020.19400	0.95	E43	Southside Construction Management Limited	1.24	0.11	1.35	2.37
	Pt 10	340.020.19400	0.49	E56	Southside Construction Management Limited	-	0.04	0.04	0.98
	Pt 10	340.020.19402	0.14	E34	J. Bass & B. Mathany	0.31	0.02	0.33	0.28
	Pt 10	340.020.19500	0.08	E29	B. Huff	-	0.01	0.01	0.20
	Pt 10	340.020.19501	0.08	E22	R. Blain	-	0.01	0.01	0.20
	Pt 10	340.020.19503	0.17	E23	L. Winch	0.31	0.02	0.33	0.34
	Pt 10	340.020.19505	0.08	E30	L. Winch	0.31	0.01	0.32	0.20
	Pt 10	340.020.20000	0.35	E5	W. & M. O'Grady	0.62	0.06	0.68	0.70
	Pt 10	340.020.20100	0.28	E11	R. Boersma	0.62	0.05	0.67	0.56
	Pt 10	340.020.20601	0.24	E50	L. Sutton	-	0.02	0.02	0.48
	Pt 10	340.020.20700	0.09	E52	W. & T. Somerville	0.31	0.002	0.312	0.18
	Pt 10	340.020.20701	0.18	E57	J. Aikin	0.31	0.01	0.32	0.36
	Pt 10	340.020.20702	0.26	E58	L. & T. Gower	0.31	0.01	0.32	0.52
	Pt 10	340.020.20704	0.26	E60	L. Ellis & A. Parr	0.31	0.01	0.32	0.52
	Pt 10	340.020.20703	0.18	E59	W. Krawczyk & N. Elliott	0.31	0.01	0.32	0.36
	Pt 10	340.020.20706	1.67	E61	Camlachie United Church	1.24	0.01	1.25	3.34
	Pt 10	340.020.22600	0.84	C5	M. Wyrzykowski	1.24	0.20	1.44	1.68
	Pt 10	340.020.22700	0.14	C7	A. Wells	1.24	0.04	1.28	0.28
	Pt 10	340.020.22710	1.08	C6	T. Dewsbury	1.24	0.21	1.45	1.62
	Pt 10	340.020.22801	0.63	C8	P. & A. Kerrigan	0.31	0.08	0.39	1.10

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Roads</u>									
Augusta Street			0.39	Town of Plympton-Wyoming		2.87	0.08	2.95	1.56
Camlachie Road			5.25	Town of Plympton-Wyoming		3.29	2.51	5.80	21.00
Egremont Road			4.17	Town of Plympton-Wyoming		2.53	1.25	3.78	16.68
Hyslop Line			3.73	Town of Plympton-Wyoming		-	1.32	1.32	11.19
McFarlane Road			4.86	Town of Plympton-Wyoming		-	2.30	2.30	14.58
Park Street			0.31	Town of Plympton-Wyoming		1.33	0.06	1.39	1.24
Warehouse Street			0.20	Town of Plympton-Wyoming		-	0.06	0.06	0.80
Alley Lot 10, Concession 9 (Camlachie - East of Augusta St.)			0.10	Town of Plympton-Wyoming		4.250	0.002	4.252	0.05
Alley Lot 10, Concession 9 (Camlachie - West of Augusta St.)			0.10	Town of Plympton-Wyoming		0.440	0.002	0.442	0.05
Alley Lot 10, Concession 9 (Camlachie - North of Park St.)			0.05	Town of Plympton-Wyoming		-	0.01	0.01	0.03
Unopened Road Allowance Lot 10, Concession 9 (Camlachie - East of Augusta St.)			0.63	Town of Plympton-Wyoming		-	0.11	0.11	2.52
Total Maintenance Assessment - Section 2						29.28%	70.72%	100.00%	

McFarlane Drain (2026)
Town of Plympton-Wyoming
August 6, 2026

SCHEDULE OF MAINTENANCE - SECTION 3

For maintaining the McFarlane Drain (2024) channel between the South limit of the Egremont Road road allowance (Station 2+553) an the top end of the drain at Station 5+103. Culverts are to be maintained in accordance with the report. The Schedule of Maintenance has been illustrated as a percentage of the future drain maintenance cost.

Conc.	Lot or Part	Roll No.	Aff. Hect.	Owner ID No.	Owner	Benefit (%)	Outlet (%)	Total (%)	Eq. Ha
<u>Agricultural Lands</u>									
7	Pt 11	340.020.06700	16.90	7-08	1886939 Ontario Ltd.	2.05	6.28	8.33	16.90
	Pt 11	340.020.06800	3.74	7-07	R. Smith	2.05	1.24	3.29	3.33
	pt 11	340.020.06900	4.15	7-06	J. & J. Verhoeven	2.05	1.54	3.59	4.15
	Pt 12	340.020.07000	15.00	7-05	R. Nauta	-	6.69	6.69	15.00
	Pt 12	340.020.07100	24.89	7-04	R. & A. Nauta	-	11.10	11.10	24.89
	Pt 13	340.020.07200	23.68	7-01	Vanderlinde Family Farms Ltd.	-	10.56	10.56	23.68
	Pt 13	340.020.07300	7.37	7-02	Vanderlinde Family Farms Ltd.	-	3.29	3.29	7.37
	Pt 14	340.020.07305	7.43	7-03	W. & H. Vanderlinde	-	2.73	2.73	6.11
8	Pt 10	340.020.09800	40.47	8-08	H. & A. Wouters Farms Ltd.	-	0.77	0.77	27.69
	Pt 10	340.020.09900	40.47	8-07	B. Wouters	-	1.50	1.50	29.00
	pt 11	340.020.10000	38.35	8-05	R. & R. Nauta	7.22	8.05	15.27	38.35
	pt 11	340.020.10100	26.70	8-04	H. & A. Wouters Farms Ltd.	7.22	6.42	13.64	26.70
	Pt 12	340.020.10200	28.05	8-03	G. & J. Edwards	-	7.06	7.06	26.65
9	Pt 10	340.020.23100	26.74	9-08	R. & R. Nauta	7.22	0.74	7.96	26.74
<u>Non - Agricultural Lands</u>									
8	Pt 11	340.020.10003	0.84	8-06	R. Winter	-	0.23	0.23	1.68
9	Pt 10	340.020.23101	0.26	A20	Plympton-Wyoming Town	-	0.01	0.01	0.39
<u>Roads</u>									
Camlachie Road			3.16	Town of Plympton-Wyoming		-	0.35	0.35	12.64
Hyslop Line			2.29	Town of Plympton-Wyoming		0.43	0.32	0.75	6.87
McFarlane Road			4.86	Town of Plympton-Wyoming		-	2.88	2.88	14.58
Total Maintenance Assessment - Section 3						28.24%	71.76%	100.00%	

SPECIFICATION OF WORK

1. Scope of Work

The work to be included in this specification is located in Part of Lots 8, 9, 10 and 11, Concessions 7, 8, 9 and 10 in the Village of Camlachie, within the Town of Plympton-Wyoming.

2. Plans and Specifications

These specifications shall apply and be a part of the construction Contract. This Specification of Work shall take precedence over all plans and general conditions pertaining to the Contract. The Contractor shall provide all labour, equipment, and supervision necessary to complete the work as shown in the plans, and described in these specifications. Any work not described in these specifications, shall be completed according to the Ontario Provincial Standard Specifications (OPSS) and Standard Drawings (OPSD).

Any reference to the Owner contained in these Contract Documents, shall refer to the Town of Plympton-Wyoming, or the Engineer authorized by the Town of Plympton-Wyoming, to act on its behalf.

3. Health and Safety

The Contractor, at all times, shall be responsible for health and safety on the worksite, including ensuring that all employees wear suitable personal protective equipment, including safety boots and hard hats.

The Contractor shall be responsible to ensure that all procedures are followed under the Occupational Health and Safety Act, to ensure that work sites are safe, and that accidents are prevented. In the event of a serious or recurring problem, a notice of noncompliance will be issued. The Contractor will be responsible for reacting immediately to any deficiency, and correcting any potential health and safety risk. Continuous disregard for any requirement of the Occupational Health and Safety Act could be cause for a stop work order to be issued, or even termination of the Contract.

The Contractor shall also ensure that only competent workmen are employed onsite, and that appropriate training and certification is supplied to all employees.

4. Traffic Control and Construction Signage

The Contractor shall be responsible for traffic control, as per the Ontario Traffic Manual Book 7 – Temporary Conditions (latest revision), when working on public road allowances. The Contractor will be required to provide the Engineer with a detailed traffic control plan for any proposed or future work with the road allowances. The plan shall be submitted one week prior to mobilizing to the site. A copy of the traffic control plan shall be kept on site at all times. The Contractor shall maintain suitable barricades, warning lights, and temporary traffic notices, at his expense, in their proper position, to protect the public both day and night. Flagmen are the responsibility of the Contractor when working on the road allowance, and when entering or exiting a worksite onto a roadway.

Pedestrian access should be provided to all properties at all times during construction.

The Contractor shall be responsible for supply, installation, maintenance, and removal of all temporary traffic control signage required on the project.

Following the installation of traffic signage for temporary conditions, the Contractor is responsible to remove, store and reinstate any permanent traffic signage, as required to facilitate the construction process. The Contractor is responsible to reinstate the pre-existing signs and posts, or at the option of the Town of Plympton-Wyoming, reinstall new signs and posts supplied by the Town of Plympton-Wyoming.

5. Workplace Safety and Insurance Board

The Contractor hereby certifies, that all employees and officers working on the project are covered by the Contractor's benefits. The WSIB Clearance Certificate must be furnished prior to the execution of the Contract, and updated every 90 days.

6. Benchmarks

The geodetic benchmark locations are identified on the profile drawing. When these elevations are on existing structures that are to be replaced, the Contractor shall transfer the benchmark to a new location, prior to the removal of the structure.

The Contractor is required to complete a benchmark loop, prior to construction, to verify the benchmarks. If discrepancies exist, the Contractor must notify the Drainage Superintendent and Engineer, prior to completing any work.

7. Utility Locates

Prior to completing any tile installation, the Contractor shall locate all utilities in the working area and adjacent road allowances and forward the locations and elevations to the Drainage Superintendent and Engineer for review.

8. Geotechnical Investigation

A geotechnical investigation has not been undertaken within the project limits.

9. Access and Working Area

Refer to the report for the access and working area requirements.

10. Removals

Removal of existing headwalls, landscaping, culverts, pedestrian bridges or rip rap end protection, concrete weirs, outlet chamber and pipes, shall be removed in their entirety. Items not used for restoration including any steel, landscaping, and concrete rubble, shall be disposed of offsite at the expense of the Contractor. Suitable backfill and rip rap shall be stockpiled adjacent to the site, for reuse during the installation of the proposed culvert.

Removals shall be in accordance with OPSS MUNI 510.

11. Brushing and Tree Removal

All brush, trees, woody vegetation, etc., required to facilitate construction, shall be removed from the working area and side slopes of the existing channel, as well as within the working area. When possible, healthy trees (excluding willow trees) in upper portion of the opposite side of the bank from which the work is being completed shall be left standing. Prior to completing the clearing in residential areas, the Contractor shall meet with the Town, or Town's representative, to review trees which will remain. Larger trees that will remain shall be marked with orange flagging.

Larger trees, brush and stumps in residential areas shall be disposed of offsite at the expense of the Contractor. Larger trees, brush and stumps on agricultural lands shall be burned onsite, subject to municipal bylaws, and MOE guidelines. The Contractor shall be responsible for obtaining all necessary burning permits.

Brushing and clearing shall be in accordance with OPSS MUNI 201.

12. Strip Existing Channel and Realignment (Station 3+141 to Station 3+183)

The existing channel and field shall be stripped of organic matter. Topsoil shall be stockpiled within the working corridor and the material must be used as part of the final restoration.

Stripping shall be in accordance with OPSS 206.

13. Excavation Channel

The open channel shall be excavated and maintained to the depths and grades as per the profile drawings, which are contained in this Engineer's Report. The channel shall be excavated to the proper depth using a laser, or similar approved device, with a labourer on site, to ensure that the grade is correct.

The proposed channel shall have a minimum of 1.5H:1V side slopes. The centre of the channel shall be in the same location as the existing channel. The minimum channel bottom width is specified on the drawings. When the actual width is greater than the minimum width, the actual width will be maintained providing the back slopes can be maintained.

Any spoils on agricultural lands shall be levelled within the working area. Spoils shall be placed at a minimum of 1.5m back from the top of the bank, on the side of the channel which the working area is specified. The excavated material shall be placed and levelled to a maximum depth of two hundred millimeters (200mm), and shall not impede overland drainage. If the spoils have sub-soil in them, the topsoil shall be windrowed along the edge of the working area, prior to placing the sub-soil. After the excavated material has been levelled, the topsoil shall be spread to its original depth, and left in a condition suitable for seeding.

Any spoils on residential lands or golf course lands shall be hauled and disposed of offsite in accordance with any regulatory requirements. A sign-off from the receiving property must be obtained.

All excavated materials, which are excess to the requirements of the Contract, shall be moved downstream to a section of the working area, where it can be properly leveled.

The side slopes of the channel shall be seeded as soon as the final grading is completed.

The Contractor may be required to work around pedestrian bridges.

Restoration is to be in accordance with the Restoration Specification.

Excavation shall be in accordance with OPSS MUNI 206.

14. Retention Pond (Station 1+097 to Station 1+163)

The landowner with the ARN ending with 340.020.14100 can request, through the Drainage Superintendent, to modify the channel cross section through the retention pond for landscaping purposes, provided the following items are maintained:

- Minimum grade of 0.29% is maintained
- Minimum flow rate of 6.65 m³/s is maintained
- The St. Andrews Circle storm sewer outlet is maintained and continues to have a free-flowing unrestricted outlet.
- The channel design needs to be designed by an Engineer registered in the Province of Ontario.
- The channel design will require a completion certificate by an Engineer registered in the Province of Ontario.

Excavation shall be in accordance with OPSS MUNI 206.

15. Weir at Station 0+024

The concrete weir at Station 0+024 shall be maintained by the landowner with the ARN ending with 340.020.12500. The work can be completed, providing the following conditions are met.

- All work is completed with the approval of the Drainage Superintendent.
- The weir profile identified in the drawings is maintained.
- All structural repairs and replacement need to be designed by an Engineer registered in the Province of Ontario.
- All structural repairs and replacement will require a completion certificate by an Engineer registered in the Province of Ontario.

16. Future Bridge Serving the lands ending with the ARN 340.020.14100 (App. Station 1+415)

The future bridge crossing that may service a development on the lands ending with the ARN 340.020.14100 at Station 1+415 (approximate) must meet the following conditions:

- All work is completed with the approval of the Drainage Superintendent.
- The bridge must be designed to convey the regional storm event.
- The bridge must be designed by an Engineer registered in the Province of Ontario.
- The bridge will be required a completion certificate by an Engineer registered in the Province of Ontario

The final location of the bridge will be determined during the bridge design and may move upstream or downstream of the specified station providing flows are not negatively affected.

14. Retention Pond (Station 1+097 to Station 1+163)

The landowner with the ARN ending with 340.020.14100 can request, through the Drainage Superintendent, to modify the channel cross section through the retention pond for landscaping purposes, provided the following items are maintained:

- Minimum grade of 0.29% is maintained
- Minimum flow rate of 6.65 m³/s is maintained
- The St. Andrews Circle storm sewer outlet is maintained and continues to have a free-flowing unrestricted outlet.
- The channel design needs to be designed by an Engineer registered in the Province of Ontario.
- The channel design will require a completion certificate by an Engineer registered in the Province of Ontario.

Excavation shall be in accordance with OPSS MUNI 206.

15. Weir at Station 0+024

The concrete weir at Station 0+024 shall be maintained by the landowner with the ARN ending with 340.020.12500. The work can be completed, providing the following conditions are met.

- All work is completed with the approval of the Drainage Superintendent.
- The weir profile identified in the drawings is maintained.
- All structural repairs and replacement need to be designed by an Engineer registered in the Province of Ontario.
- All structural repairs and replacement will require a completion certificate by an Engineer registered in the Province of Ontario.

16. Future Bridge Serving the lands ending with the ARN 340.020.14114 (App. Station 1+415)

The future bridge crossing that may service a development on the lands ending with the ARN 340.020.14114 at Station 1+415 (approximate) must meet the following conditions:

- All work is completed with the approval of the Drainage Superintendent.
- The bridge must be designed to convey the regional storm event.
- The bridge must be designed by an Engineer registered in the Province of Ontario.
- The bridge will be required a completion certificate by an Engineer registered in the Province of Ontario

The final location of the bridge will be determined during the bridge design and may move upstream or downstream of the specified station providing flows are not negatively affected.

17. Installation of Culverts

The Contractor shall supply, install, and backfill pipe culverts. Pipe material can be Corrugated Steel Pipe (CSP) or High Density Polyethylene (HDPE) pipe.

HDPE pipe shall be smooth wall pipe (320 kPa) with bell and spigot joints. HDPE pipe shall be (320 kPa) Boss 2000 or approved equal.

CSP culverts shall be aluminized corrugated steel pipe with a minimum wall thickness of 2.8 mm in all cases. All corrugation profiles shall be of helical lock-seam using 68 mm x 13 mm corrugations for 1600 mm diameter pipe, and smaller and 125 mm x 25 mm corrugations for 1800 mm diameter pipe and larger. Pipe with 125 mm x 25 mm corrugations shall be used if 68 mm x 13 mm corrugations are not available. Future culvert replacements shall be to the same specifications.

Corrugated Steel Pipe Arch (CSPA) culverts shall be aluminized corrugated steel pipe with a minimum wall thickness of 3.5mm in all cases. All corrugation profiles shall be 125mm x 25mm corrugations. Any future extension or replacement of the culvert shall be to equivalent specifications.

It is the Contractors responsibility to ensure that adequate cover is obtained prior to crossing the culvert in accordance with the manufacturer's recommendations. It is the Contractors responsibility to ensure that the minimum cover is achieved when backfilling the culverts. The minimum cover for CSP under Highway Loading shall be 1/6 of the culvert span, and shall be no less than 300mm.

Access culvert lengths are based on using rip rap end protection (1.5:1.0). If concrete block walls are to be utilized in a future replacement, the culvert length shall be reduced to accommodate the standard 9.0 m top width, plus the width of the concrete block headwalls.

Culverts shall be installed with the invert 10% of the diameter (or rise) below the gradeline of the Drain. The location of the culvert shall be in the general location as the existing culvert, or may be moved at the request of the landowner and discretion of the Drainage Superintendent.

All granular bedding and backfill material including any required fill below the culvert invert, shall be mechanically compacted to 95% standard proctor maximum dry density. Culverts shall have 1500mm of bedding below the bottom of the pipe.

Pipe culverts shall be constructed to the depths and grades as shown on the drawings. Any over-excavation will be backfilled with granular material or clear stone. When the pipe has been installed to the proper grade and depth, the excavation shall be backfilled with Granular "A", or clear stone, from the bottom of the excavation to the spring-line of the pipe. Care shall be taken to ensure that the backfill on either side of the culvert does not differ by more than 300mm, so that the pipe is not displaced.

Public road centreline pipe culverts shall be backfilled with Granular “B” Type II material mechanically compacted to 95% standard proctor maximum dry density as detailed on the drawings. The top 300mm of Granular “B” (Type II) material, shall be mechanically compacted to 98% standard proctor maximum dry density. The backfill shall be placed from the top of the bedding, to within 200mm of the finished grade, less any asphalt. The top 200mm of the lane shall be restored with Granular “M” dolomite material, and mechanically compacted to 100% standard proctor maximum dry density.

Agricultural access pipe culverts can be backfilled with Granular “B” material or suitable free draining material and compacted to 95% standard proctor maximum dry density. The backfill shall be placed from the top of the bedding, to within 150mm of the finished grade. The top 150mm of Granular “A” material, shall be mechanically compacted to 98% standard proctor maximum dry density. Unless otherwise specified, the top width will be based on the width of the existing gravel, plus one (1) metre on each side. The top 150mm of the access shall be restored with Granular “A” material for a sufficient distance, to match the existing access road width. The location of the agricultural access culverts may be moved a short distance upstream or downstream as necessary, to avoid existing tile outlets subject to the approval of the Drainage Superintendent or Engineer. If a tile outlet cannot be avoided, the tile outlet shall be extended upstream or downstream to an outlet. Any tile outlets extended as a result of extra length requested by an Owner, shall be extended at the Owner’s expense.

The excavated material shall be levelled to a maximum depth of 200mm, and left in a condition suitable for restoration.

The Contractor shall supply any extra backfill material required above the springline. Payment for additional backfill material will be specified in the Contract Documents.

Rip rap end protection shall have a minimum 1.5H:1V sideslopes. The rip rap shall consist of 150mm - 300mm quarry stone, or an approved equal. The area to receive the rip rap shall be graded to a depth of 300mm below the finished grade. Filter fabric (Terrafix 270R or an approved equal) shall then be placed with any joints overlapped at a minimum of 600mm. The quarry stone shall be placed with the smaller pieces placed in the gaps and voids, to give it a uniform appearance.

If concrete blocks are to be used for end protection, the blocks shall be 600mm X 600mm X 1200mm, 600mm X 600mm X 2400mm, or 300mm X 600mm X 1200mm, as required. The top of the culvert shall govern the block elevation. The correct block shall be set with the top of the block equal to the top of the culvert. The blocks shall be set at each end of the culvert, so that each row of blocks will be offset approximately 100mm from the row below. The bottom row shall consist of blocks placed parallel to the culvert. The blocks shall be embedded a minimum of 300mm into each bank, and shall extend into the drain bottom to match the pipe invert, or below. When concrete blocks are to be used all backfill, shall be Granular B or an approved free draining material.

Concrete block headwalls, for culverts located within the road allowance, shall be locking.

The blocks shall be placed over a layer of filter fabric (Terrafix 270R or an approved equal). The culvert shall be backfilled in conjunction with the placement of the blocks. The gaps between the culvert and the blocks shall be filled with concrete cinder blocks/bricks and mortar, to give the endwall a finished appearance.

The Contractor shall maintain a dry working area during construction. The Contractor shall install a silt fence downstream of the work area (at the bottom end of the channel improvement, if all work is completed at the same time).

After completion of construction, the sediment and erosion control measures shall be removed. The final removal shall be the silt fence.

18. Subsurface Drainage

The landowner is responsible to mark all of the tile outlets entering the drain. The landowner is responsible for all of the costs to maintain private tile outlets.

Tile ends shall be repaired with equivalent sized, non perforated agricultural HDPE pipe with a manufactured coupling, and rodent grate. Tile mains shall be repaired with equivalent sized, non perforated HDPE tile, with a manufactured coupling and rodent grate. In the case of concrete or clay tiles, the tile end shall be excavated into the bank a minimum of 3m. Any washouts from surface water, or at tile ends, shall be repaired with rip rap (100mm X 250mm quarry stone or gabion stone) and filter fabric (Terrafix 270R or an approved equal).

The area to receive rip rap shall be graded to a minimum depth of 300mm. If the washout is greater than 300mm, then excavated or fill material shall be placed to sub-grade. The filter fabric will then be placed with all joints overlapped with a minimum of 600mm. The rip rap will then be placed to a minimum depth of 300mm from the base of the side slope to the top of the tile outlet, with the smaller pieces being placed in the gaps and voids to give it a uniform appearance. The area to receive rip rap shall be graded, and the rip rap is placed to allow any surface water directed to this area to enter the channel over the rip rap. The rip rap shall generally be keyed to a depth of 600mm at the top of the bank. Any native material that has washed into the channel, shall be removed and spread on the adjacent property.

19. Channel Protection (Rip Rap)

The channel protection consists of rip rap and filter fabric. Rip rap shall be made up of 200mmx300mm (nominal) quarry stone, or an approved equal. The area to receive the rip rap shall be graded first, to allow the placement of the rip rap to a depth of 450mm. After grading, a layer of filter fabric (Terrafix 270R or an approved equal) shall be placed

with any joints overlapping a minimum of 600mm. Rip rap shall then be placed with the smaller pieces in the gaps and voids, to give it a uniform appearance.

Channel protection shall be in accordance with OPSS MUNI 511.

20. Trucking of Excavated Material (future maintenance)

Excavated material across non agricultural lands (residential lands) and golf course lands shall be trucked and disposed offsite by the Contractor, in accordance with any regulatory requirements. The cost of trucking will form part of the drain maintenance, and be assessed as per the Schedule of Maintenance.

Landowners who own agricultural properties that wish to have the excavated material trucked will be assessed the cost of trucking.

If an agricultural landowner requests the spoils be disposed of outside the working area, a sign-off from the receiving property must be obtained.

21. Survey Bars

Any survey bars that are removed as a result of construction must be replaced by an Ontario Land Surveyor, registered with the Association of Ontario Land Surveyors.

22. Restoration

Restoration shall be in accordance with the following:

Working Area and Access Restoration

- Disturbed areas within non-cultivated portions of the working area (residential lawns and retention pond channel banks), shall be restored with a minimum of 100mm of native topsoil generated on site and hydro seeded.

Public Road Restoration

- HL4 asphalt to be 90mm in depth. The asphalt shall be placed in two lifts. If the existing asphalt thickness is greater than 90mm, additional asphalt will be placed at the direction of the Drainage Superintendent or Engineer.
- Granular 'M' (Dolomite) to be 200mm in depth.
- Granular 'B' Type 2 to be 300mm in depth.
- Granular 'B' Type 2 to be used for backfill.
- Disturbed areas shall be restored with native topsoil and seed. Native topsoil is to match existing depths.

Private Access Restoration

- Granular 'A' to be 150mm in depth.
- Granular 'B' Type 1 to be 300mm in depth.
- Granular 'B' Type 1 or suitable free draining material to be used for backfill.
- Disturbed areas shall be restored with native topsoil and seed. Native topsoil is to match existing depths.

Seed

All areas requiring seed shall be hydro seeded upon completion of construction.

Areas specified on the drawings or in these specifications shall be hydro seeded and mulched upon completion of construction in accordance with OPSS 804. Application rates are as follows:

- Primary seed (85 kg/ha.) consisting of 50% red fescue, 40% perennial ryegrass and 5% white clover.
- Nurse crop consisting of Italian (annual) ryegrass at 25% of total weight.
- Fertilizer (300 kg/ha.) consisting of 8-32-16.
- Hydraulic mulch (2,999 kg/ha.) type "B" and water (52,700 litres/ha.)

Excavation shall be in accordance with OPSS MUNI 206.

Compaction shall be in accordance with OPSS MUNI 501.

Topsoil shall be in accordance with OPSS MUNI 802.

Seed shall be in accordance with OPSS MUNI 804.

Granular shall be in accordance with OPSS 1010.

Asphalt shall be in accordance with OPSS MUNI 310.

23. Straw bale

Straw bale check dams shall be constructed immediately up-gradient of any culvert installations or replacements.

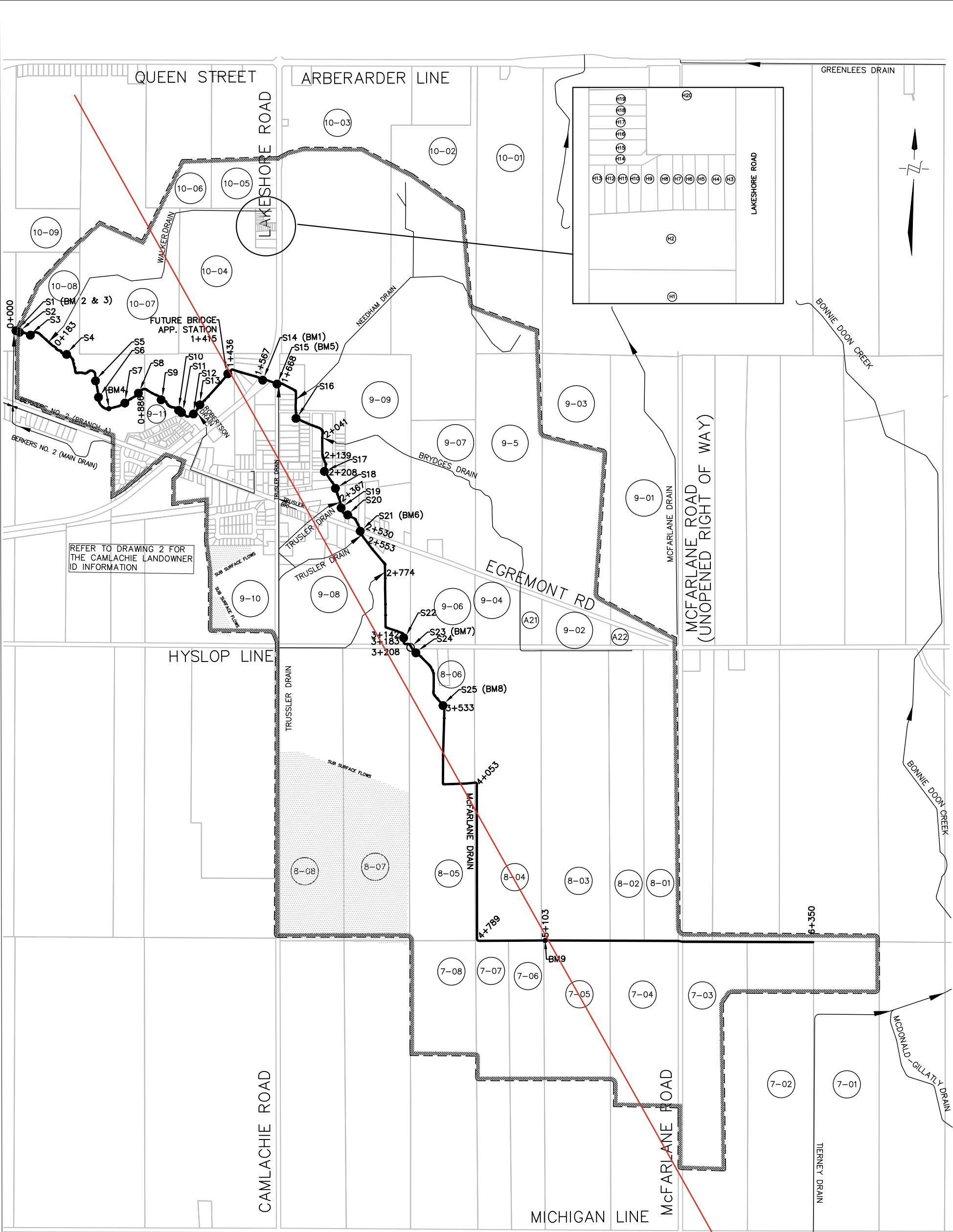
The Straw bale check dam(s) and accumulated sediment shall be removed, once the disturbed area has been revegetated.

Straw bale check dams shall be in accordance with OPSS 577 and OPSD 219.110.

24. Environmental Considerations

The Contractor shall take care to adhere to the following considerations:

1. All excavated and stockpiled material shall be placed a minimum of 1.5m from the top of the bank. Material shall not be placed in surface water runs or open inlets that enter the channel.
2. All activities, including maintenance procedures, shall be controlled to prevent the entry of petroleum products, debris, rubble, concrete, or other deleterious substances into the water. Vehicle and equipment refuelling and maintenance, shall be conducted away from the channel, any surface water runs, or open inlets. All waste materials shall be stockpiled well back from the top of the bank, surface water runs, and open inlets that enter the drain.
3. All construction in the channel shall be carried out during periods of low flow. When possible, the Contractor shall schedule work to avoid periods of high winds and rain. The Contractor shall maintain a dry working area during construction. Prior to construction, the Contractor shall install a silt fence downstream of the work area.



CON 10

CON 9

CON 8

CON 7



- LEGEND**
- DRAINAGE AREA
 - MCFARLANE & BY-PASS DRAINS
 - EXISTING MUNICIPAL DRAIN
 - LANDOWNER INFORMATION NUMBER (LANDOWNER ID NO.)
 - STRUCTURE
 - S25 STRUCTURE NUMBER
 - BM BENCHMARK

R Dobbin
Engineering Inc.

4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Plan 1

PROJECT No.
2020-1192

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER	2	FINAL REPORT	AUG. 6, 2026	MG
CHECKED	1	DRAFT REPORT	FEB. 20, 2025	MG
B. VAN RUITENBURG				
DRAWN				
M. GERRITS				

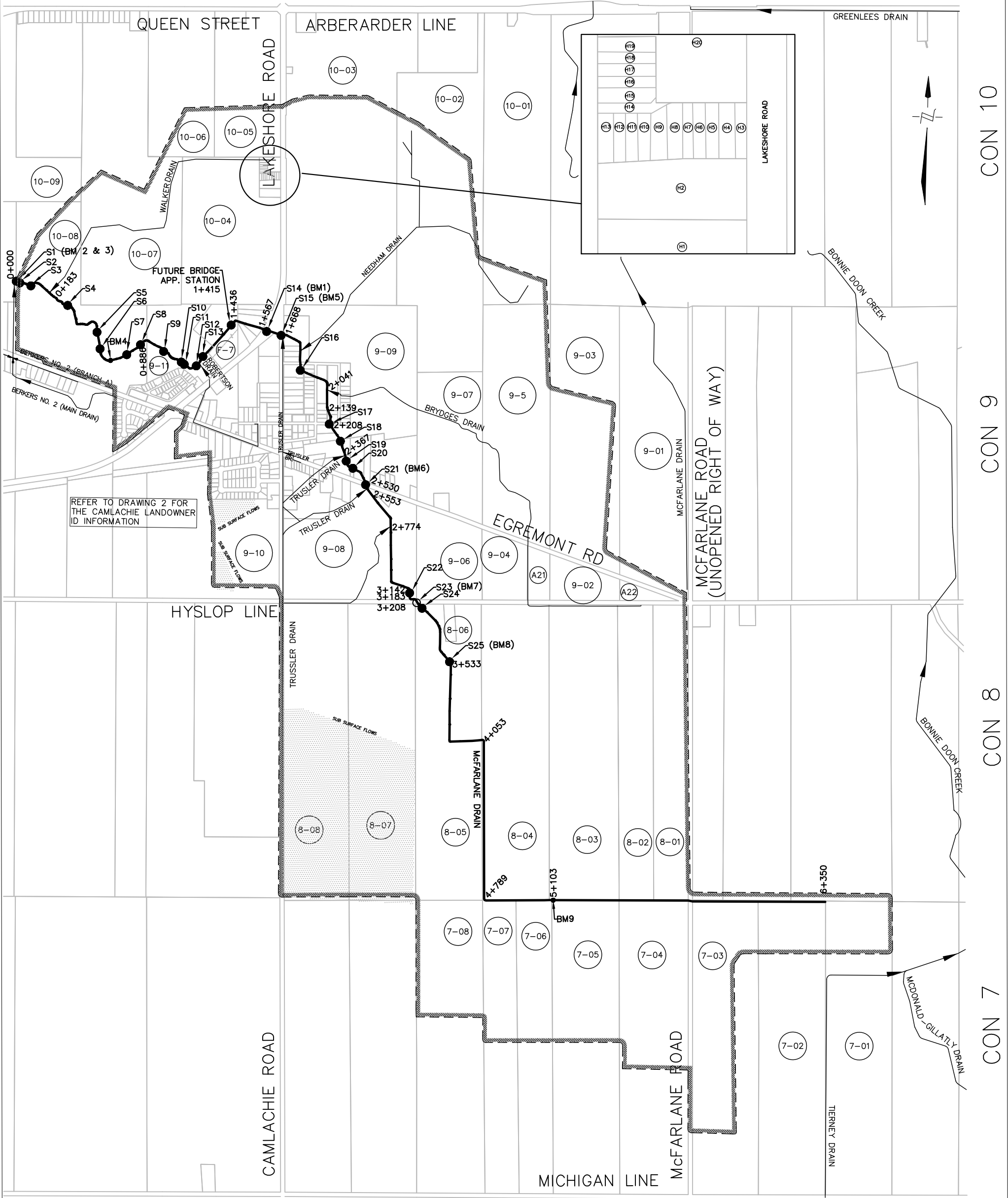
SCALE: 1:17,500
0 150m 300m 450m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

PLAN 1

1
OF 12



CON 10

CON 9

CON 8

CON 7



REFER TO DRAWING 2 FOR THE CAMLACHIE LANDOWNER ID INFORMATION



- LEGEND
- DRAINAGE AREA
 - MCFARLANE & BY-PASS DRAINS
 - EXISTING MUNICIPAL DRAIN
 - LANDOWNER INFORMATION NUMBER (LANDOWNER ID NO.)
 - STRUCTURE
 - S25 STRUCTURE NUMBER
 - BM BENCHMARK



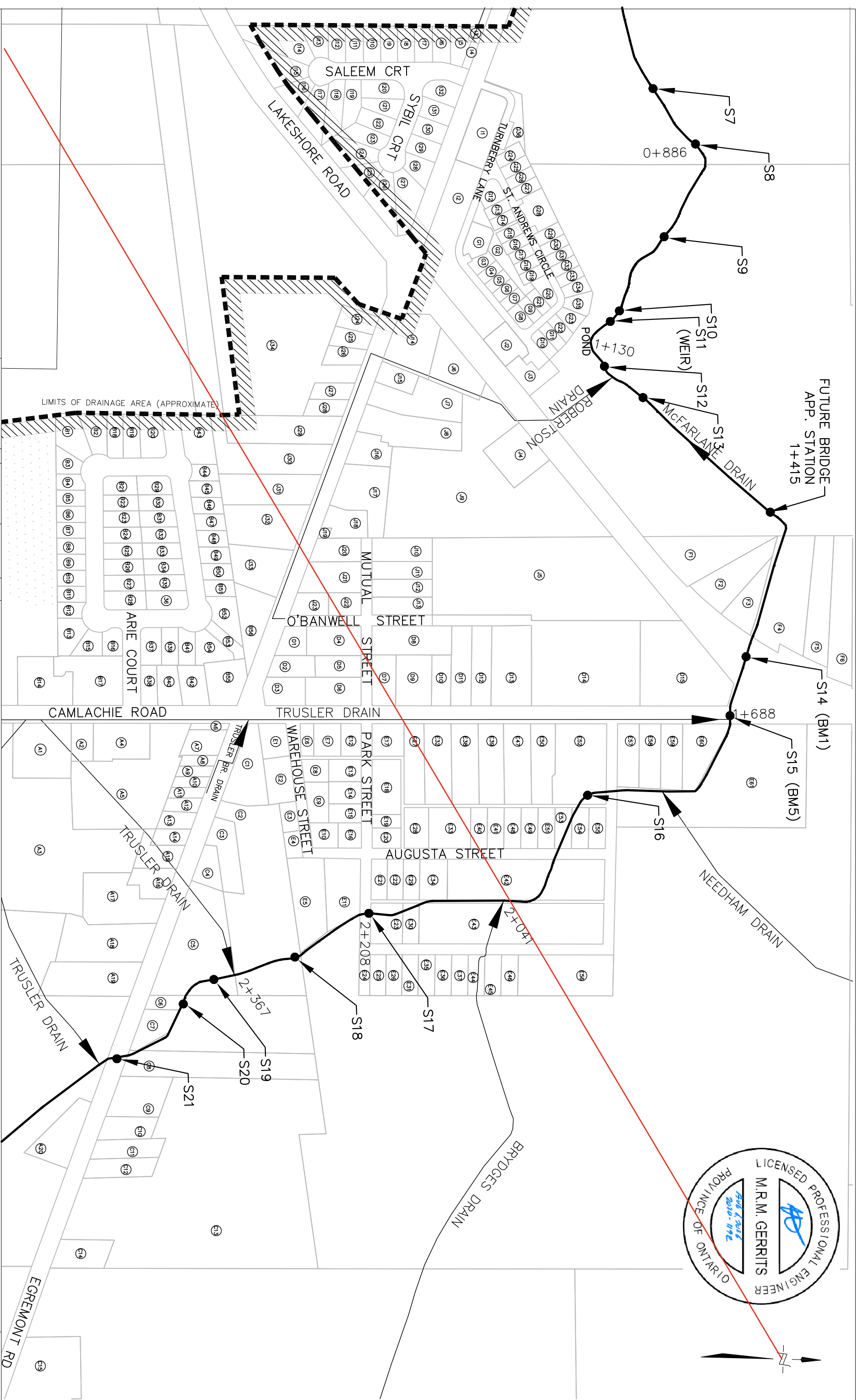
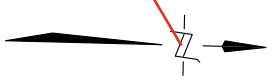
4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

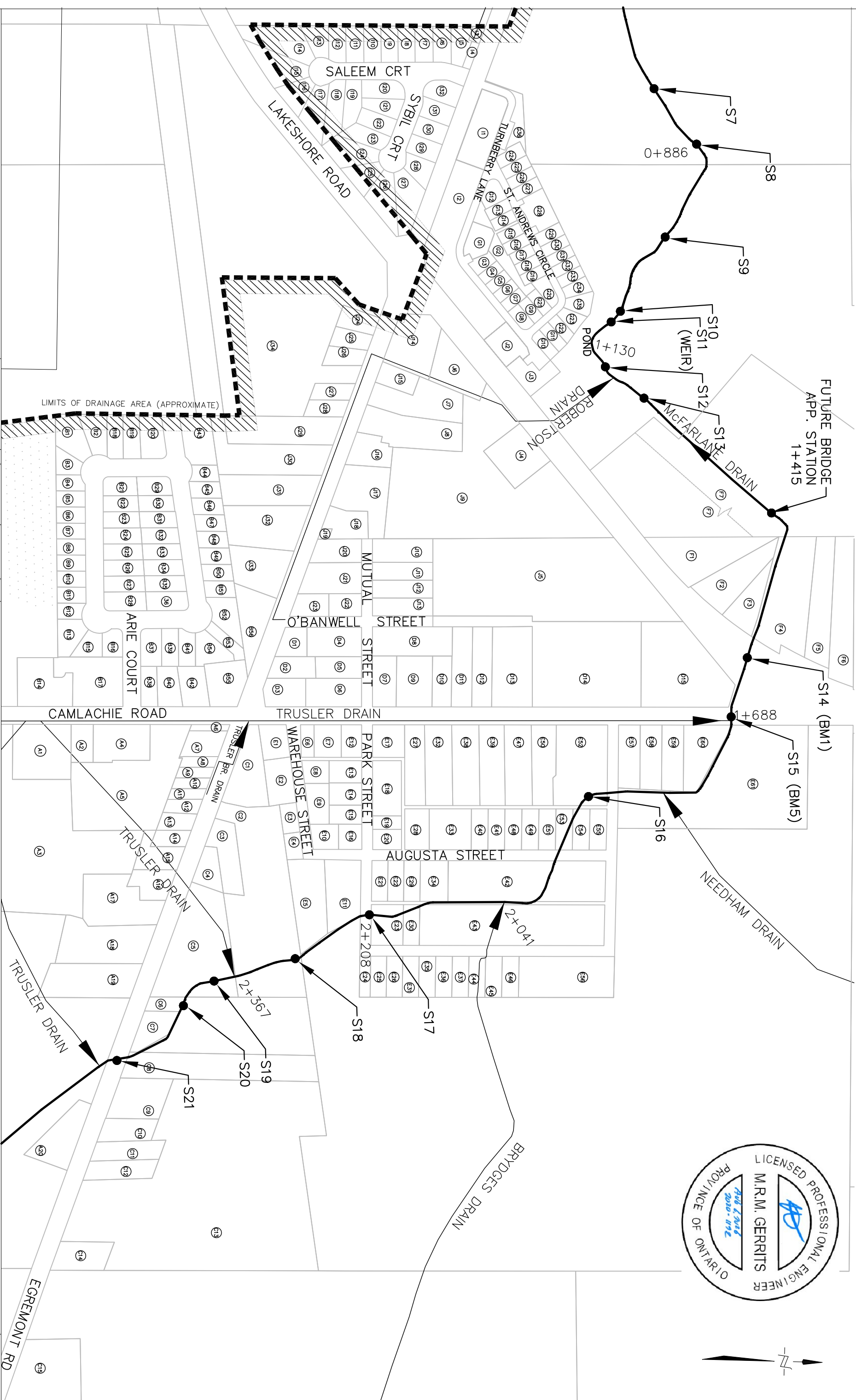
DRAWING NAME:
McFarlane Drain (2026) Plan 1

PROJECT No.
2020-1192

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER	3	F-7 LOT LINE	AUG. 18, 2026	MG
CHECKED	2	FINAL REPORT	AUG. 6, 2026	MG
B. VAN RUITENBURG	1	DRAFT REPORT	FEB. 20, 2025	MG
DRAWN	SCALE: 1:17,500			
M. GERRITS	0 150m 300m 450m			

TOWN of PLYMPTON-WYOMING
McFARLANE DRAIN (2026)
PLAN 1





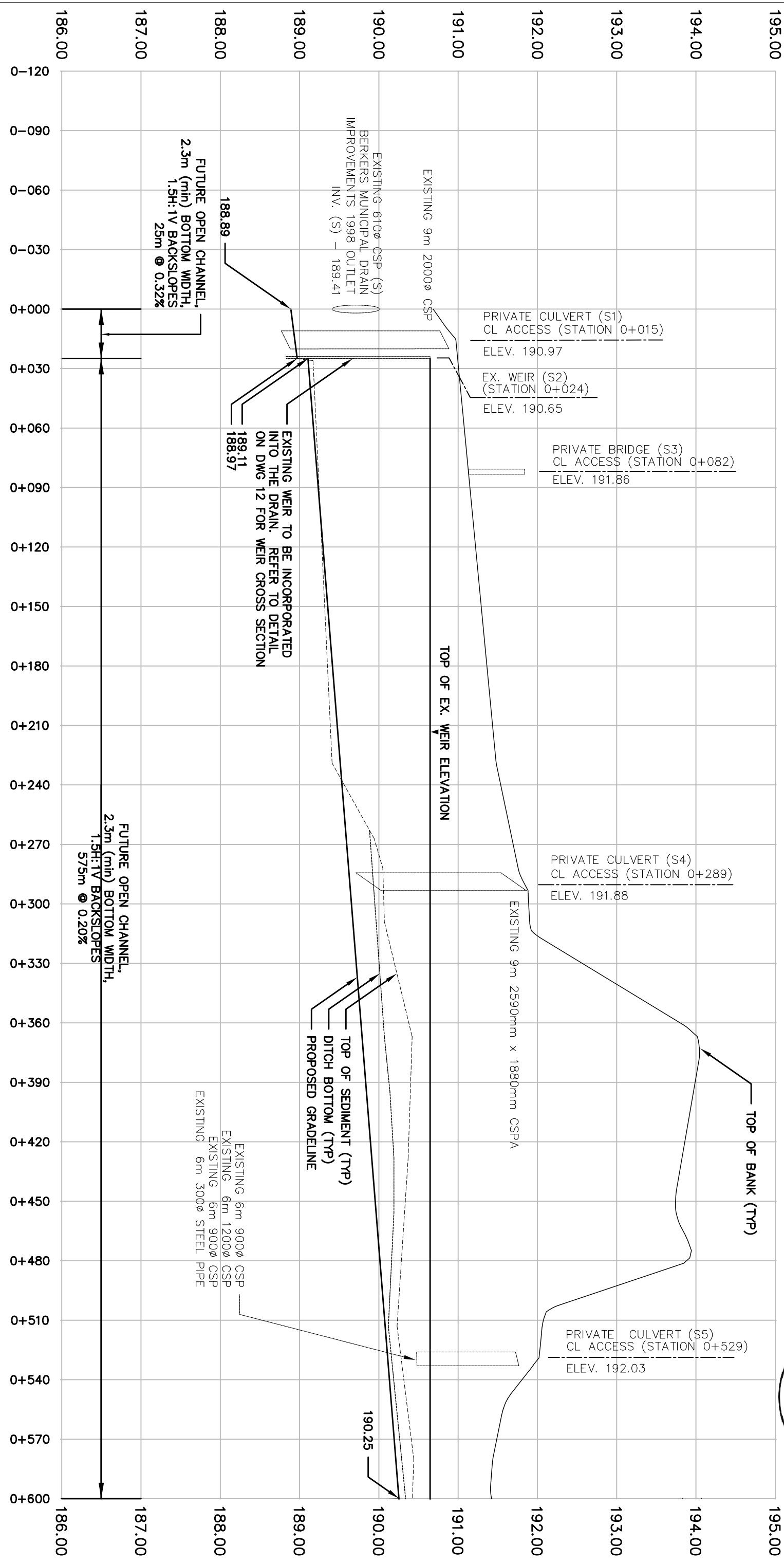
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.

2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.

3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.
4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.

5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578.
SECONDARY BENCHMARK #2 – 190.77
OBVERT OF WEST END OF STEEL PIPE AT STATION 0+015.



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 1

PROJECT No.
2020-1192

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER				
CHECKED	2	FINAL REPORT	AUG. 6, 2026	WG
B. VAN RUITENBURG	1	DRAFT REPORT	FEB. 20, 2025	MG

SCALE: 1:2,000
0 20 40 60m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

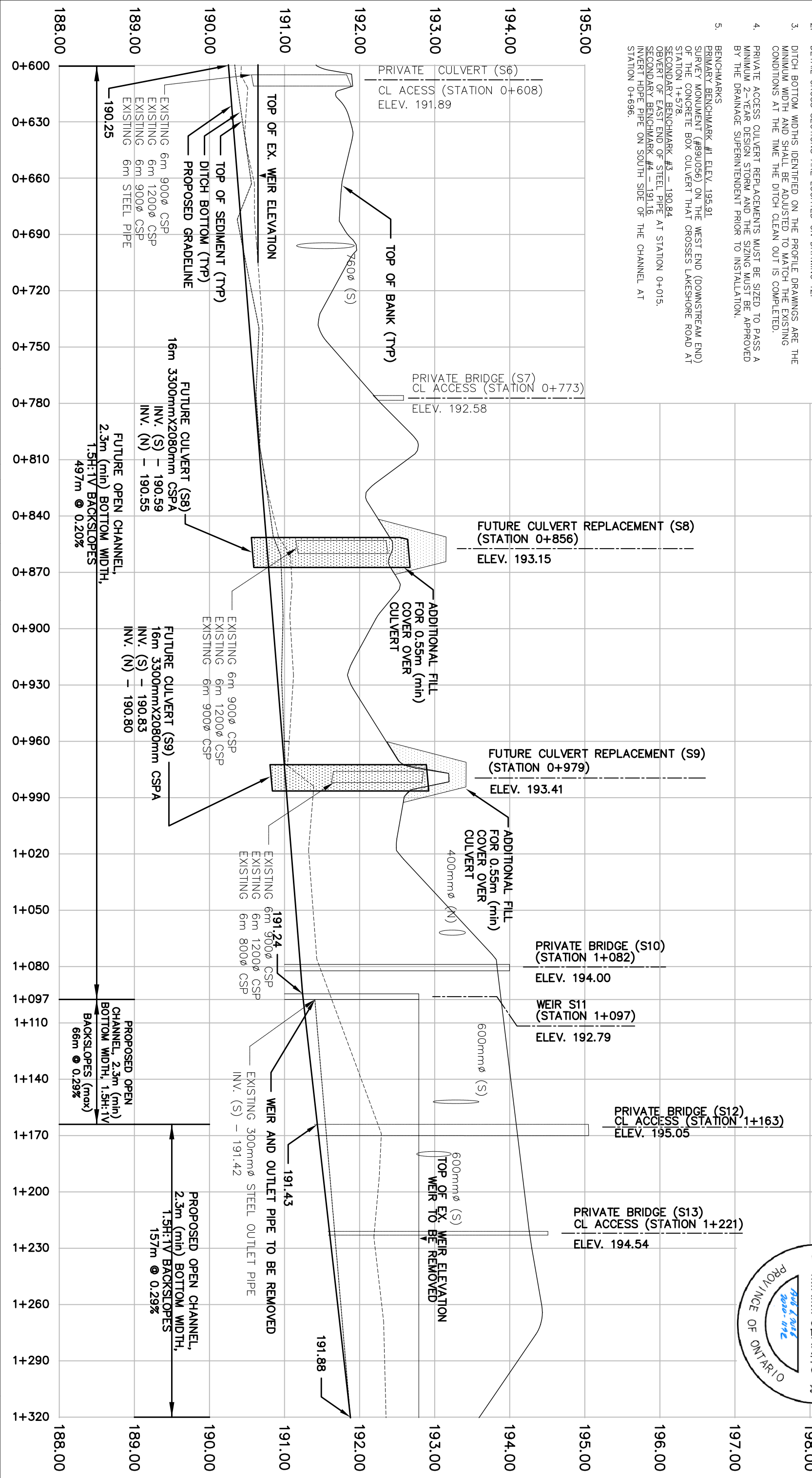
PROFILE

3

OF 12

GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.
3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.
4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.
5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578
SECONDARY BENCHMARK #3 – 190.84
OBVERT OF EAST END OF STEEL PIPE AT STATION 0+015.
SECONDARY BENCHMARK #4 – 191.16
INVERT HDPE PIPE ON SOUTH SIDE OF THE CHANNEL AT STATION 0+696.

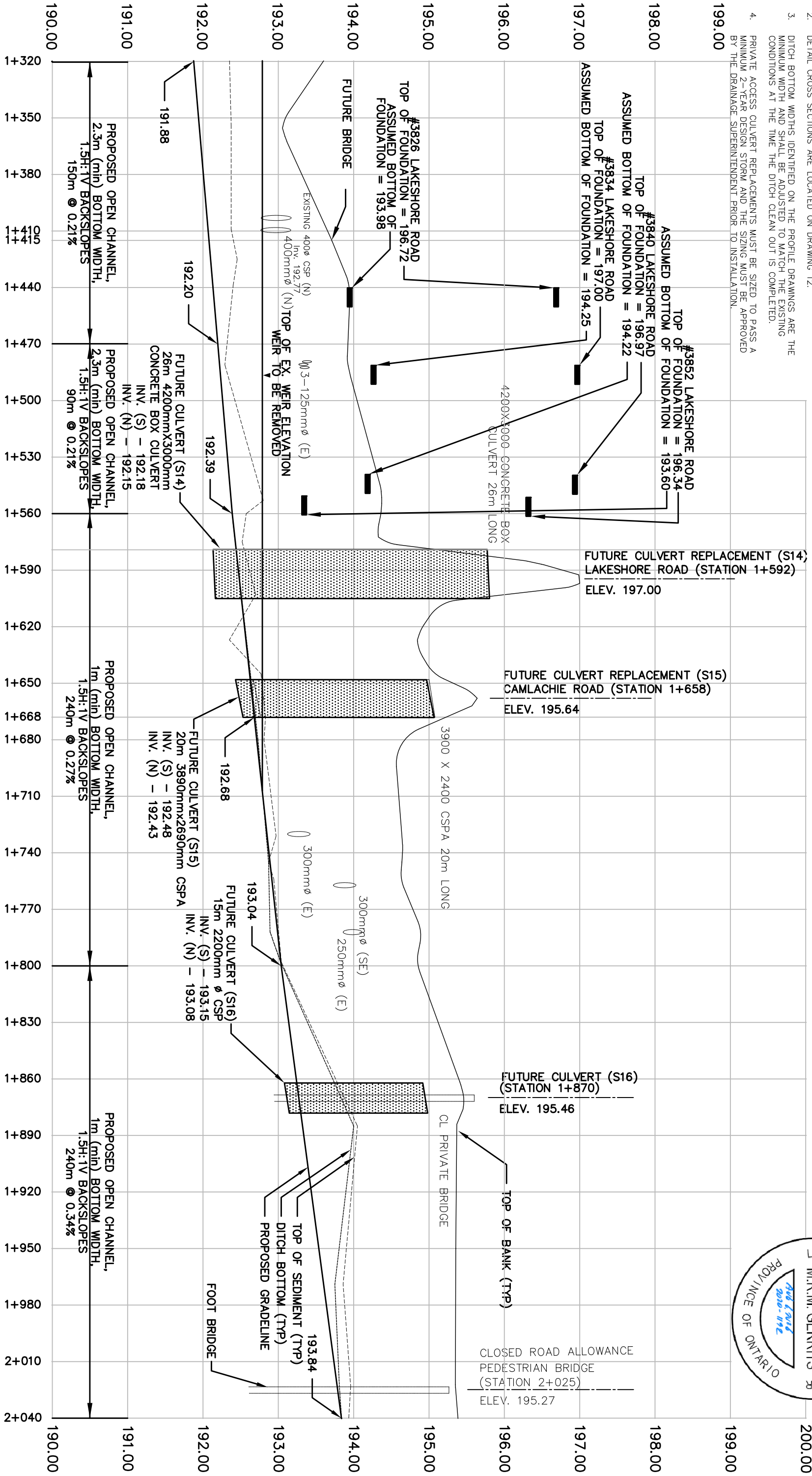


GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.
3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.
4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.

5. BENCHMARKS

PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END)
SECONDARY BENCHMARK #4 - 191.16
INVERT HDPE PIPE ON SOUTH SIDE OF THE CHANNEL AT STATION 0+696.
SECONDARY BENCHMARK #5 - 195.28
OVERT OF EAST END OF THE CAMLACHIE ROAD CENTRELINE CULVERT.



Engineering Inc.

4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 3

PROJECT No.
2020-1192

APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
	2	FINAL REPORT	AUG. 6, 2026	MG
	1	DRAFT REPORT	FEB. 20, 2025	MG
CHECKED B. VAN RUITENBURG				
DRAWN M. GERRITS				

SCALE: 1:2,000

0

20

40

60m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

PROFILE

5

OF 12

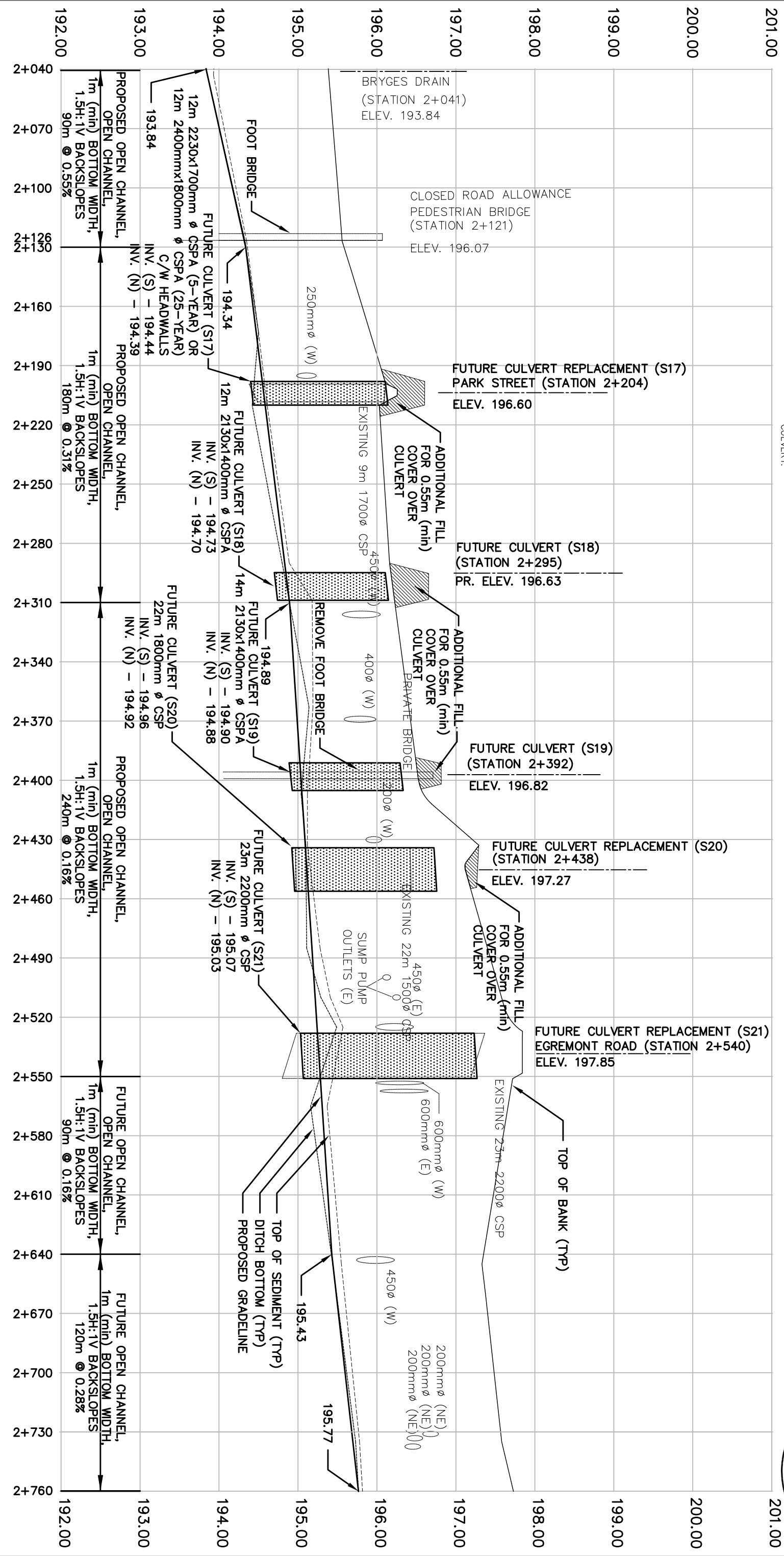
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.

2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.

3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.
4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.

5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578.
SECONDARY BENCHMARK #5 – 195.28
OVERT OF EAST END OF THE CAMLACHIE ROAD CENTRELINE CULVERT.
SECONDARY BENCHMARK #6 – 197.10
OVERT OF NORTH END OF THE EGREMONT ROAD CENTRELINE CULVERT.



Robbie Engineering Inc.

4218 Ol Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 4

PROJECT No.
2020-1192

APPROVED
J. WARNER

CHECKED
B. VAN RUITENBURG

NO. 1

REVISIONS

DATE

BY

2 FINAL REPORT AUG. 6, 2026 MG

1 DRAFT REPORT FEB. 20, 2025 MG

SCALE: 1:2,000

0 20 40 60m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

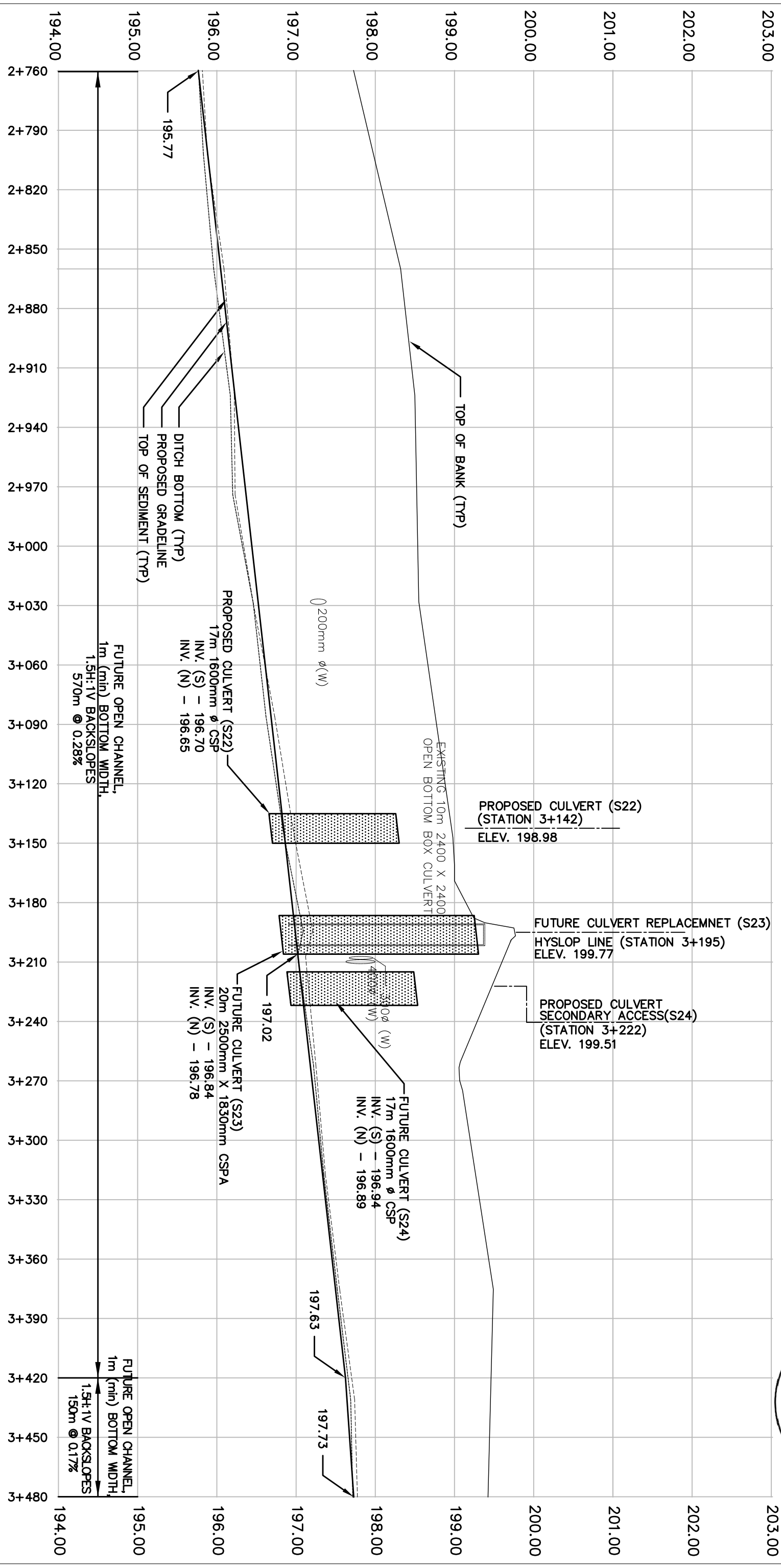
PROFILE

6

OF 12

GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.
3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.
5. BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.
BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578.
SECONDARY BENCHMARK #6 - 197.10
OVERT OF NORTH END OF THE EREMONT ROAD CENTRELINE CULVERT.
SECONDARY BENCHMARK #7 - 199.71
SOUTH WEST CORNER OF HEADWALL ON THE SOUTH END OF THE HYSLOP LINE CENTRELINE CULVERT.



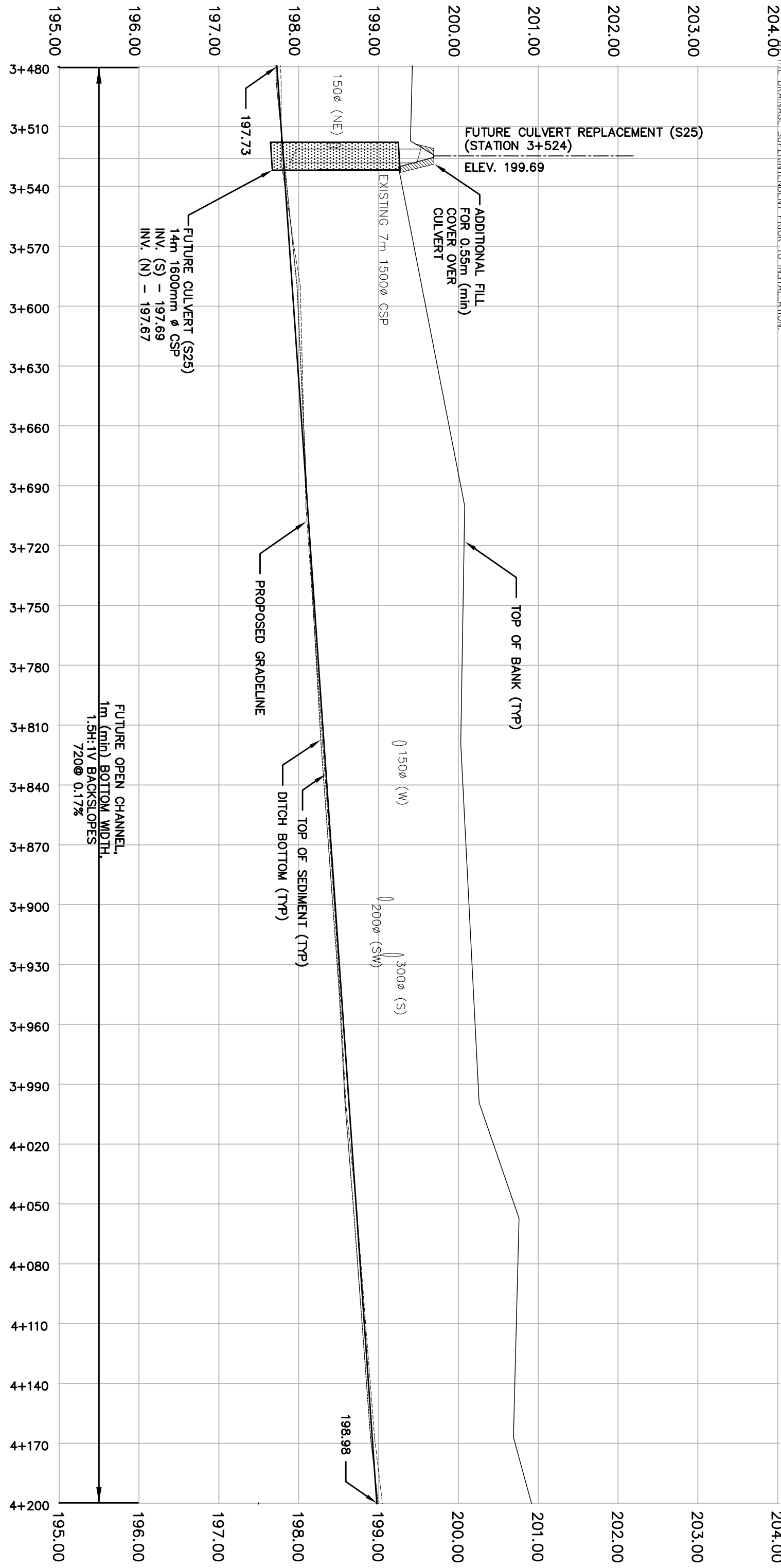
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.

5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578
SECONDARY BENCHMARK #6 – 192.10
OVERT OF NORTH END OF THE EGREMONT ROAD CENTRELINE CULVERT.
SECONDARY BENCHMARK #7 – 199.71
SOUTH WEST CORNER OF HEADWALL ON THE SOUTH END OF THE HYSLOP LINE CENTRELINE CULVERT.
SECONDARY BENCHMARK #8 – 199.48
OVERT OF SOUTH END OF THE ACCESS CULVERT (S25) AT STATION 3+527.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.

3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.

4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.



Engineering Inc.

4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 6

PROJECT No.
2020-1192

APPROVED

J. WARNER

CHECKED

B. VAN RUITENBURG

DRAWN

M. GERRITS

NO.	REVISIONS	DATE	BY
2	FINAL REPORT	AUG. 6, 2026	MG
1	DRAFT REPORT	FEB. 20, 2025	MG

SCALE: 1:2,000

0 20 40 60m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

PROFILE

8

OF 11

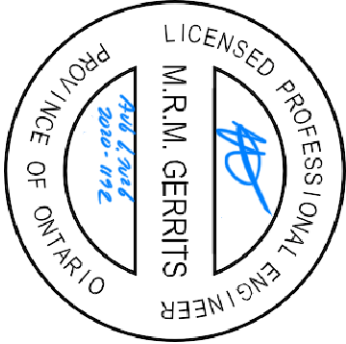
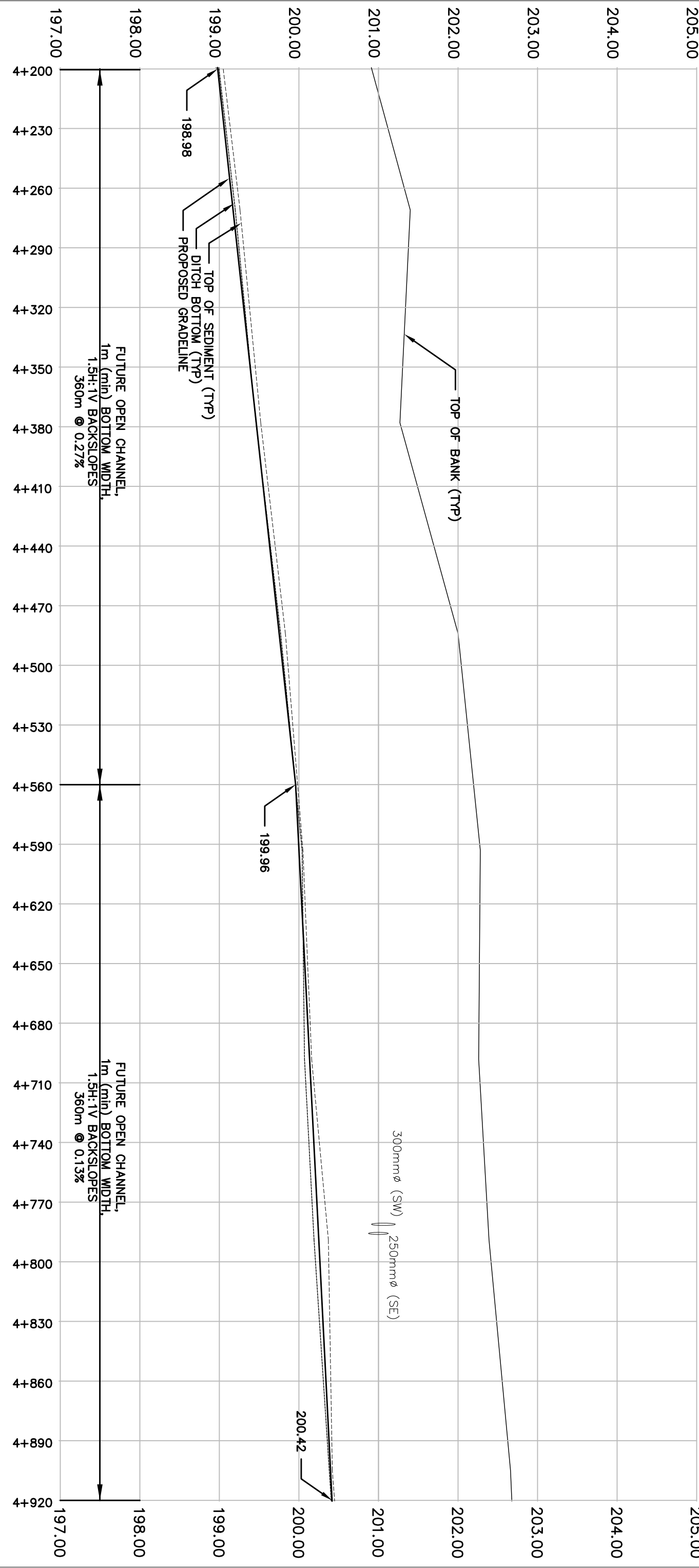
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.

5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578
SECONDARY BENCHMARK #6 – 197.10
OVERT OF NORTH END OF THE EGREMONT ROAD CENTRELINE CULVERT.
SECONDARY BENCHMARK #7 – 199.71
SOUTH WEST CORNER OF HEADWALL ON THE SOUTH END OF THE HYSLOP LINE CENTRELINE CULVERT.
SECONDARY BENCHMARK #8 – 199.48
OVERT OF SOUTH END OF THE ACCESS CULVERT (S25) AT STATION 3+527.
SECONDARY BENCHMARK #9 – 201.36
OVERT OF 300mm DIA. STEEL PIPE AT STATION 5+103.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.

3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.

4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.





Engineering Inc.

4218 Oil Heritage Road
Pettola Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 7

PROJECT NO.
2020-1192

APPROVED
J. WARNER

CHECKED
B. VAN RUITENBURG

DRAWN
M. GERRITS

NO.	REVISIONS	DATE	BY
2	FINAL REPORT	AUG. 6, 2026	MG
1	DRAFT REPORT	FEB. 20, 2025	MG

SCALE: 1:2,000
0 20 40 60m

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

PROFILE

9

OF 11

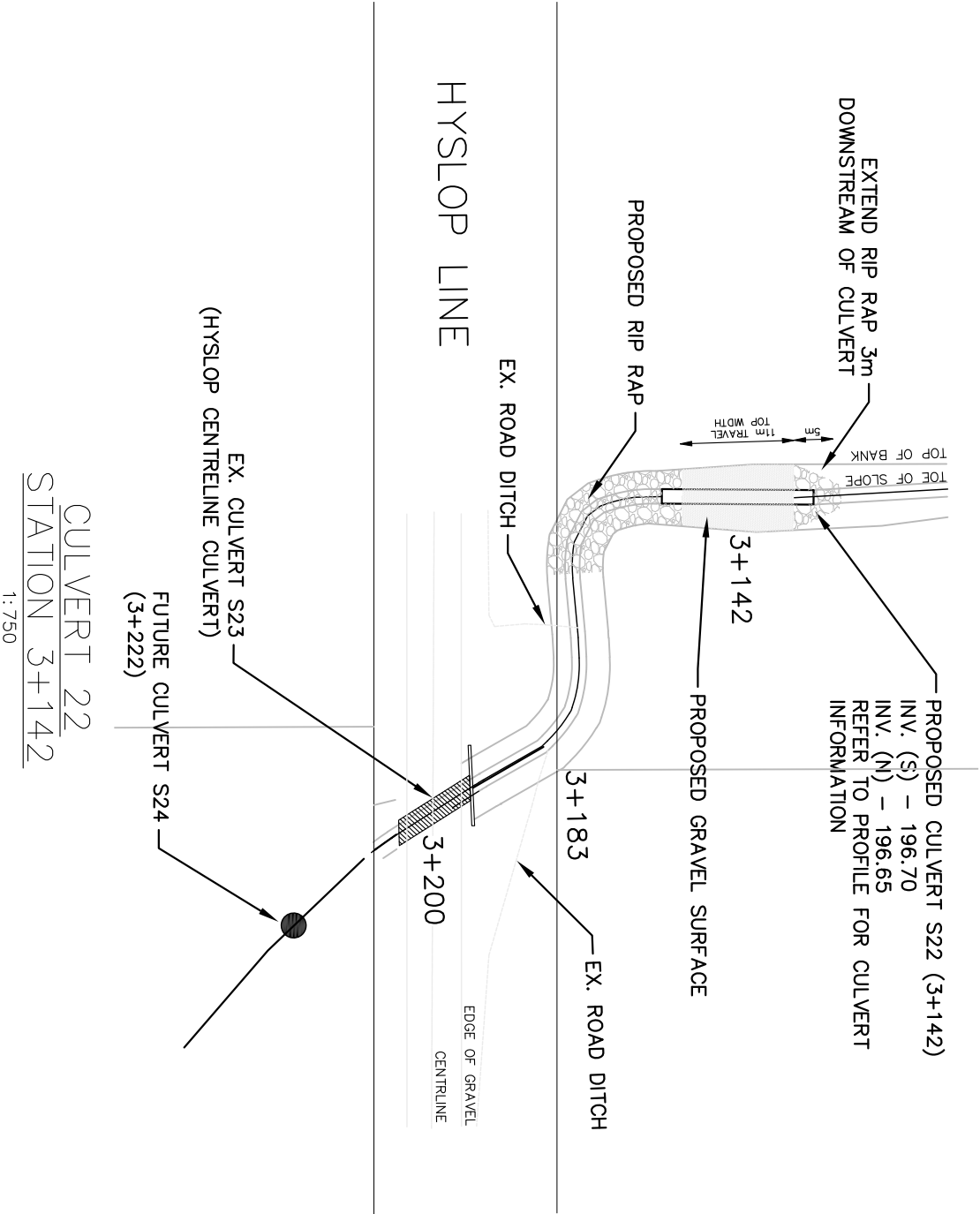
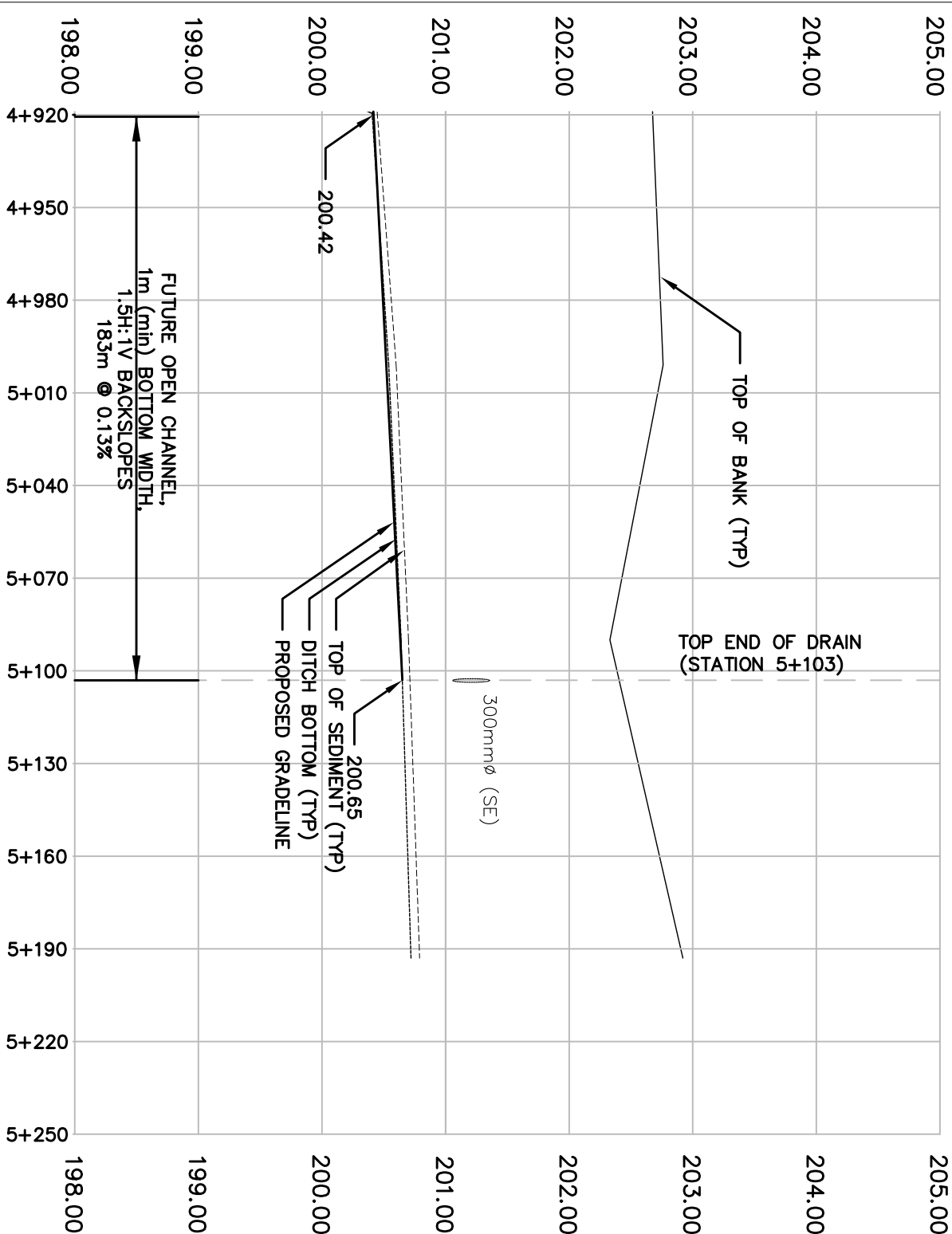
GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO COMPLETE A BENCHMARK CHECK/LOOP, PRIOR TO CONSTRUCTION, TO VERIFY THE BENCHMARKS. IF DISCREPANCIES EXIST, THE CONTRACTOR MUST NOTIFY THE DRAINAGE SUPERINTENDENT AND ENGINEER, PRIOR TO COMMENCING ANY WORK.

5. BENCHMARKS
PRIMARY BENCHMARK #1 ELEV. 195.91
SURVEY MONUMENT (#89U056) ON THE WEST END (DOWNSTREAM END) OF THE CONCRETE BOX CULVERT THAT CROSSES LAKESHORE ROAD AT STATION 1+578.
SECONDARY BENCHMARK #7 – 199.71
SOUTH WEST CORNER OF HEADWALL ON THE SOUTH END OF THE HYSLOP LINE CENTRELINE CULVERT.
SECONDARY BENCHMARK #8 – 199.48
OVERT OF SOUTH END OF THE ACCESS CULVERT (S25) AT STATION 3+527.
SECONDARY BENCHMARK #9 – 201.36
OVERT OF 300mm D.I.A. STEEL PIPE AT STATION 5+103.
2. DETAIL CROSS SECTIONS ARE LOCATED ON DRAWING 12.

3. DITCH BOTTOM WIDTHS IDENTIFIED ON THE PROFILE DRAWINGS ARE THE MINIMUM WIDTH AND SHALL BE ADJUSTED TO MATCH THE EXISTING CONDITIONS AT THE TIME THE DITCH CLEAN OUT IS COMPLETED.

4. PRIVATE ACCESS CULVERT REPLACEMENTS MUST BE SIZED TO PASS A MINIMUM 2-YEAR DESIGN STORM AND THE SIZING MUST BE APPROVED BY THE DRAINAGE SUPERINTENDENT PRIOR TO INSTALLATION.



4218 Old Heritage Road
Patterson, Ontario, N0N 1R0
Phone: (519) 882-0052 Fax: (519) 882-2233

DRAWING NAME:
McFarlane Drain (2026) Profile 8 & Cross Sections

PROJECT No.
2020-1192

APPROVED
J. WARNER

CHECKED
B. VAN RUITENBURG

DRAWN
M. GERRITS

NO. 1

REVISIONS

DATE

BY

2 FINAL REPORT AUG. 6, 2026 MG

1 DRAFT REPORT FEB. 20, 2025 MG

SCALE: 1:2,000

0 20 40 60m

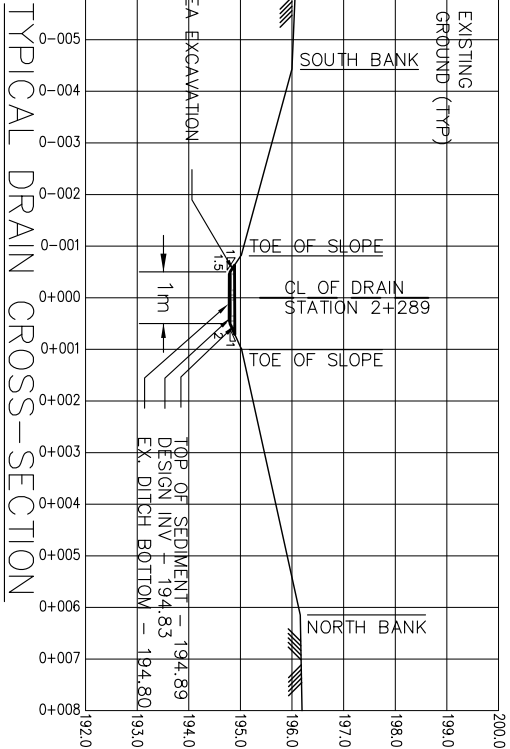
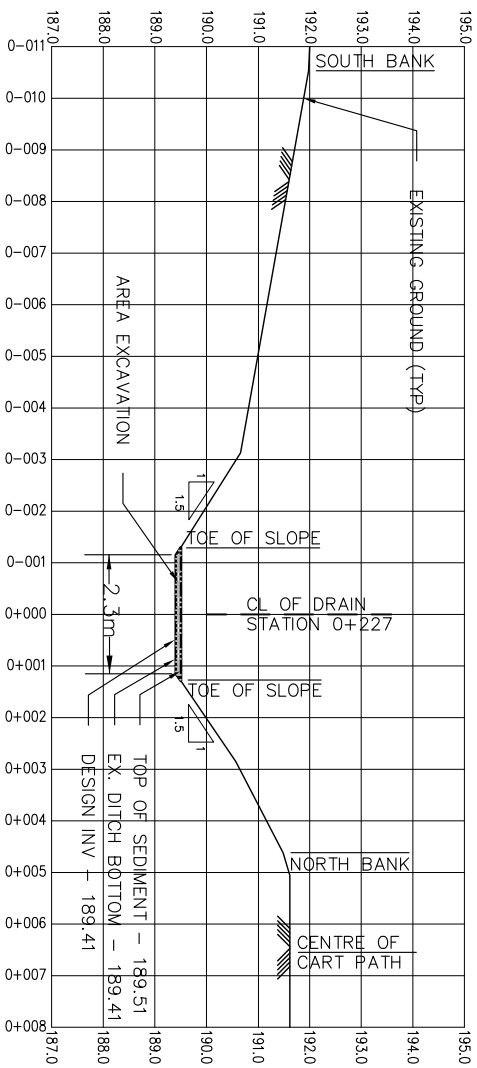
TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

PROFILE & CROSS SECTIONS

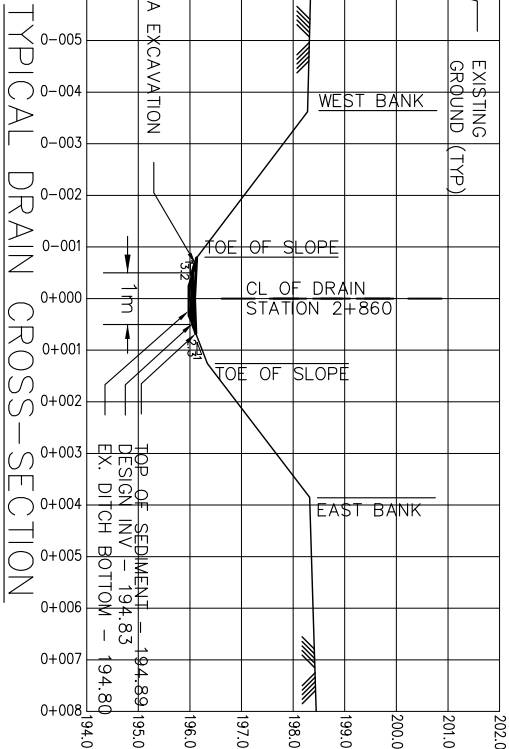
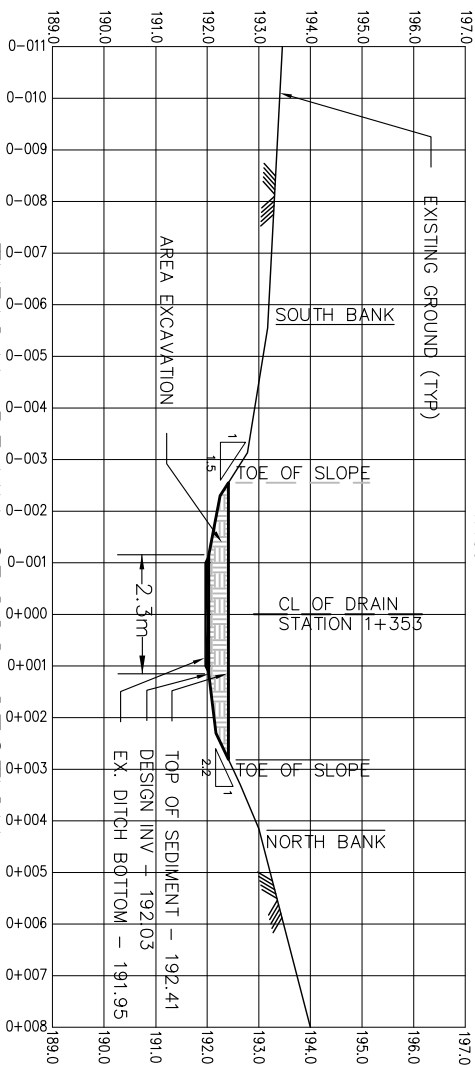
10

OF 12



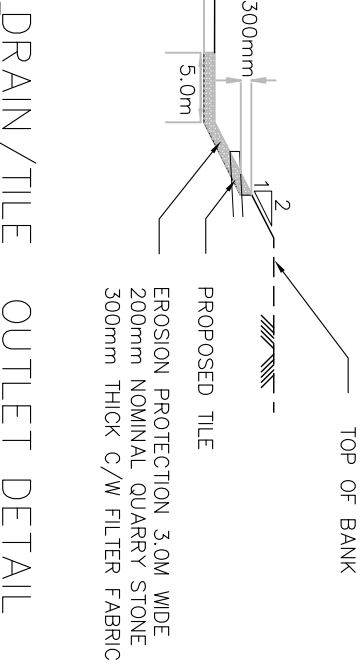
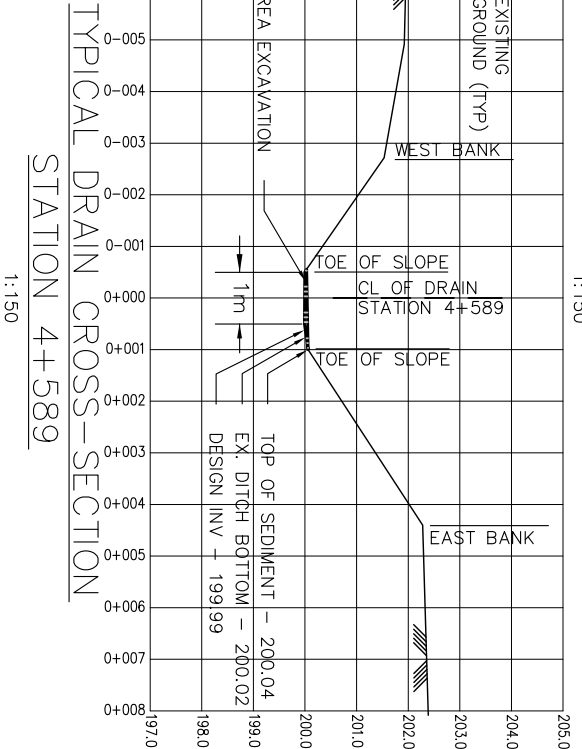
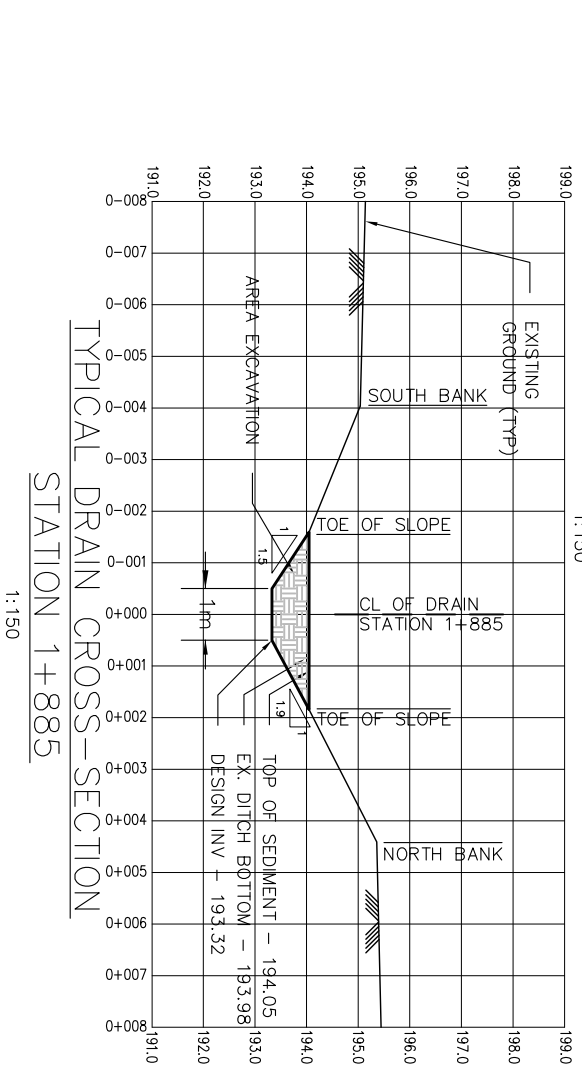
TYPICAL DRAIN CROSS-SECTION
STATION 0+227

TYPICAL DRAIN CROSS-SECTION
STATION 2+289

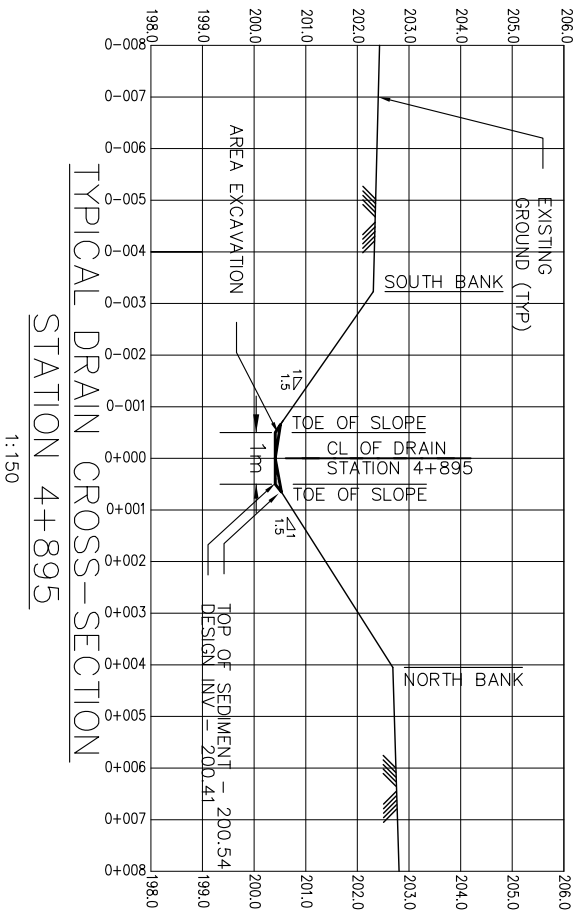


TYPICAL DRAIN CROSS-SECTION
STATION 1+353

TYPICAL DRAIN CROSS-SECTION
STATION 2+860



DRAIN/TILE OUTLET DETAIL
N.T.S.



TYPICAL DRAIN CROSS-SECTION
STATION 4+895



Engineering Inc.

4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0052 Fax: (519) 882-2233

PROJECT No.
M. GERRITS

APPROVED
J. WARNER

CHECKED
B. VAN RUITENBURG

DRAWN
M. GERRITS

NO. REVISIONS DATE BY

2 FINAL REPORT AUG. 6, 2026 MG

1 DRAFT REPORT FEB. 20, 2025 MG

TOWN of PLYMPTON-WYOMING

McFARLANE DRAIN (2026)

CROSS SECTIONS AND DETAILS

11

OF 12

